



northbrook

FORM 1.6a

VILLAGE OF NORTHBROOK
Development & Planning Services

1225 Cedar Lane
Northbrook, Illinois 60062
847 664-4050 FAX: 847 272-5068
www.northbrook.il.us

Permit #: _____
Fee: _____

Driveway Application (Residential Only)

Property Address _____

Owner _____

E-Mail Address _____ Phone _____ Fax _____

Primary Contact

*

E-Mail Address _____ Phone _____ Fax _____

* All plan review correspondence shall be sent to the Primary Contact via email. The Primary contact will also be notified once the permit has been approved and is ready for issuance (pick-up).

Paving Contractor must have a current Village of Northbrook License

Concrete/Paving Contractor _____

Address _____

Phone _____ Fax _____

E-Mail Address _____

Describe Work to be Performed and Material to be Used:

Will there be an increase in impervious surface? ☐ Yes ☐ No; Proposed New Impervious Surface Area _____ sf

Will there be alteration to downspouts? ☐ Yes ☐ No;

If yes to either above: submit a drawing or plat of survey showing proposed improvements. Include pipe size and material (SDR 26 required). (9') maximum extension from foundation, directed to front or rear property lines.

Is decorative pavement (brick pavers, stamped concrete, etc.) proposed within the right-of-way? ☐ Yes ☐ No

For Office Use Only

Reviewer _____

Approval Date _____

Permit Fee _____

Impervious Surface Area _____ sf

Impervious Surface Class _____ (\$0, \$.80, \$1.60)

Impervious Surface Fee _____

Penalty Fee _____

Total _____



Public Works Department
655 Huehl Road
Northbrook, IL 60062
847-272-4711 FAX: 847-272-3629
www.northbrook.il.us

Mr. Kelly Hamill
Director of Public Works
Village of Northbrook
655 Huehl Road
Northbrook, IL. 60062

Re: Proposed Decorative Driveway Approach in Public R.O.W.

Address: _____

Dear Mr. Hamill,

I understand that the Village Code does not allow for the construction of a driveway in the public right-of-way surfaced with any other material than concrete or asphalt.

I agree that the driveway to be constructed in the public right-of-way at the above address out of brick paver/decorative concrete/embossed or colored asphalt will be my responsibility to maintain, repair, and replace if necessary, due to any damage by the Village or other public agencies, or due to normal wear and tear.

Sincerely,

Homeowner's Signature

Homeowner's Name (Printed)

Date: _____

Signature of Notary

cc: Property File

Seal:



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FORM 2.3

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Zoning Worksheet – Residential Driveway/Patio
(NEEDED ONLY IF INCREASE/DECREASE IN SIZE)

Address:

Type of Project: ☐ Driveway ☐ Patio ☐ Other

Zoning Class ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ R-5 Other

Lot Area s.f.

Maximum Lot Coverage

50% lot area maximum allowed:

Allowable Lot Coverage: x .5 =
Lot Area Max. Allowable Lot Coverage

Proposed Impervious Surface Calculation:

	Existing Imp. Surf.	New/Added	Total Imp. Surf. (sf)
Building footprint (Incl. attached garage & shed)			
Detached Garage			
Driveway			
Walks / Stoops			
Deck / Patio / Spa or Hot Tub / Pool			
Total Impervious Surface Areas	b		a

Compare

Net Increase / Decrease (circle): $a - b =$

Impervious Surface Ratio:

÷ =
Total Impervious Surface Lot Area Impervious Surface Ratio

Driveway or Garage (Accessory Structure) in Required Setback

40% required setback area max. allowed

Allowable Coverage: x = x .4 =
Req'd Setback Width or length of lot Req'd Yard Area Max. Allowable Cov.

☐ This section not applicable

Proposed Coverage:
Area in Req'd Setback

Driveway Coverage Ratio: ÷ =
Area in Req'd Setback Req'd Yard Area Driveway Coverage Ratio

For office use only:

Comments:

Approval
Signature
& Date



Tree Protection Agreement

Property Address _____ Suite # _____ Date _____

Owner's Name _____

Owner's Telephone Number _____ e-mail _____

Contractor's Name _____ Contractor's Phone Number _____

Scope of Work:

- ☐ Driveway/Patio (remove and replace in kind or under 400 sq ft new)
- ☐ Emergency Sanitary Sewer Repair
- ☐ Interior Alterations
- ☐ Drainage Project/Storm Sewer installation or repair
- ☐ Walkway
- ☐ Water Service
- ☐ Other _____

Is there work to be performed within the public right-of-way? ☐ Yes ☐ No

If yes, please contact Public Works at 847-272-4711 for further information regarding parkway trees.

I understand that I am not required to provide a tree protection plan for review prior to permit issuance for this emergency or improvement work.

I understand I am required to take all necessary measures to preserve and protect any trees within the designated work area including but not limited to tree fencing, trunk protection and root pruning.

I guarantee there will be no excavating through critical root zones, no materials, equipment or dumpsters stored, or vehicles parked on any unpaved or soft surface within the drip line of any tree on the subject or neighboring property and there will be no drilling into the bark, trunk or branches whereby the tree becomes a structural support for any accessory structures in or around the tree.

I understand that in the event I do not root prune prior to excavation, I will have to root prune any roots within the excavation flush to the wall of the excavation prior to backfilling.

I understand that I may be required to auger and/or bore the new utility rather than open trench within the critical root zone of any tree.

I recognize that the Village of Northbrook has a Tree Preservation Ordinance (Municipal Code Chapter 25). In the event I violate the Tree Preservation Ordinance or this Tree Protection Agreement, I will be subject to all applicable fines and tree replacements and understand I may be subject to a stop work order and be required to provide a full tree protection plan.

I agree to contact the Tree Preservation Officer at 847-272-4711 prior to excavating within 6 feet of any tree.

Signature of Property Owner or Agent

Signer's Printed Name

Date

For Office Use Only

Permit # _____

Date _____

Form Revision Date: 2-29-2024

Excavation Trenches:

1. When any roots are cut or torn during construction, it is **critical** that you **sharply cut all the ends of any exposed roots immediately**. Failure to do so will leave crushed and torn roots. This leads to decay and inhibits growth of new roots.
2. Pile soil on the side of the trench opposite the tree. If this is not possible, place the soil on a plastic tarp, plywood or a thick bed of mulch.
3. Do not compact the backfill on the trench more than its original firmness.
4. Water the backfill to allow the roots to begin healing.

Trenching near a tree can kill as much as 40%-50% of the tree's roots.

If the tree you are working around is in a confined space and your equipment will be coming close, it is important for you to protect the trunk. Wrap the tree trunk in old tires or place 2" x 4" studs around the tree and rope or band them together.

