



**VILLAGE OF NORTHBROOK**  
**Development & Planning Services**  
1225 Cedar Lane  
Northbrook, Illinois 60062  
847 664-4050  
[www.northbrook.il.us](http://www.northbrook.il.us)

## **Single-Family Residential Basement or Attic**

Submit the application and drawing requirements listed below for the finishing of any existing basement or attic to [permits@northbrook.il.us](mailto:permits@northbrook.il.us). This permit type does not include review for any structural changes (see Single-Family Residential Alteration for more information).

### **Application Requirements:**

- Permit Application Deposit of \$100 (Payment will be requested after the application is accepted)
- Form 1.1 - Permit Application
- Form 2.4 - Zoning Worksheet – Residential (*Needed for Attic Finish Only*)
- Form 3.1 - Building Site & Utility Data Worksheet
- Form 3.2 - Water Service & Meter Worksheet
- Form 5.1 - Fire Protection – Letter of Understanding
- Form 6.2 - Contractor of Record

### **Drawing Requirements:** (Submit with permit application)

- Construction Drawings

Please direct any questions regarding the permit process to [permits@northbrook.il.us](mailto:permits@northbrook.il.us)  
or call the Development and Planning Services Department at 847-664-4050.  
Office hours are Monday-Friday, 8:30am – 4:30pm.



## Permit Application

Permit Address \_\_\_\_\_ Application Date: \_\_\_\_\_

Property Type (check one):  
☐ Commercial/Retail  
☐ Other: \_\_\_\_\_  
☐ Single Family Residential  
☐ Office  
☐ Multi-Family  
☐ Industrial

Description of Work \_\_\_\_\_

Estimated Construction Value \$ \_\_\_\_\_ (required)

**Primary Contact Information** (note: all review correspondence will be emailed to the primary contact)

Name \_\_\_\_\_

Email \_\_\_\_\_ please print clearly

Phone \_\_\_\_\_ Fax \_\_\_\_\_

*Check with the Permit Desk associates for any submittal questions 847-664-4050.*

### Property Owner's Information

Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

### Architect's Information ☐ Not Applicable

Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

### Contractor's Information ☐ Type of Contractor \_\_\_\_\_

Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

Signature of Applicant: \_\_\_\_\_

Please Print: \_\_\_\_\_ Date: \_\_\_\_\_



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# FORM 2.4

VILLAGE OF NORTHBROOK  
Development & Planning Services

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## Zoning Worksheet – Residential

New Residence / Addition / Detached Garage / Gazebo / Pool House

Address of Proposed Project

Type of Project: ☐ New Residence ☐ Addition ☐ Detached Garage ☐ Gazebo/Pool House

Zoning Class

☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ R-5

Lot Area

s.f.

Setbacks (Yards)

Per:  
Arch  
Eng

|                            | Minimum Setback Required (ft) | Proposed Setback(ft) | Easement/Encroach. |
|----------------------------|-------------------------------|----------------------|--------------------|
| Front                      |                               |                      |                    |
| Corner / Side (Circle one) |                               | a                    |                    |
| Side                       |                               | b                    |                    |
| Rear                       | 40                            |                      |                    |

Height

Max. allowed \_\_\_\_\_ ft **Stories:** Max. allowed \_\_\_\_\_ stories  
Proposed \_\_\_\_\_ ft Proposed \_\_\_\_\_ stories

Gross Floor Area (FAR)

☐ This section not applicable

Proposed Floor Area Calculation:

Per:  
Arch  
Eng

|   | Existing (if applicable) (sf) | New/Added (sf) | Total (sf) |
|---|-------------------------------|----------------|------------|
| Basement (if more above ground than below)              |                               |                |            |
| First Floor (including attached garage)                 |                               |                |            |
| Second Floor  |                               |                |            |
| Attic/Third Floor (finished or unfinished – circle one) |                               |                |            |
| Detached Garage   |                               |                |            |
| Accessory Structure / Shed                              |                               |                |            |
| Total Floor Areas                                       |                               |                |            |

Gross Floor Area Ratio:

\_\_\_\_\_ ÷ \_\_\_\_\_ = \_\_\_\_\_  
Total Floor Areas Lot Area Proposed Floor Area Ratio

Maximum Building Coverage

35% lot area maximum allowed

☐ This section not applicable  
Allowable Bldg. Coverage: \_\_\_\_\_ x .35 = \_\_\_\_\_  
Lot Area Max. Allow. Bldg. Coverage

Proposed Building Coverage Calculation:

Per:  
Arch  
Eng

|   | Existing (if applicable) (sf) | New Bldg. Cov. Added (sf) | Total |
|---|-------------------------------|---------------------------|-------|
| First Floor (Incl. attached garage, window wells, covered porches/patios) |                               |                           |       |
| Detached Garage   |                               |                           |       |
| Accessory Structure / Shed  |                               |                           |       |
| Total Bldg. Areas   |                               |                           |       |

Building Coverage Ratio:

\_\_\_\_\_ ÷ \_\_\_\_\_ = \_\_\_\_\_  
Total Bldg. Areas Lot Area Bldg. Coverage Ratio

Maximum Lot Coverage (Impervious Surface)

50% lot area maximum allowed:

☐ This section not applicable  
Allowable Lot Coverage: \_\_\_\_\_ x .5 = \_\_\_\_\_  
Lot Area Max. Allowable Lot Coverage

Proposed Impervious Surface Calculation:

Per:  
Arch  
Eng

|  | Existing Imp. Surf. | New/Added | Total Imp. Surf. (sf) |
|--|---------------------|-----------|-----------------------|
| Building footprint (Incl. attached garage) |                     |           |                       |
| Detached Garage                            |                     |           |                       |
| Driveway                                   |                     |           |                       |
| Walks / Stoops                             |                     |           |                       |
| Deck / Patio                               |                     |           |                       |
| Total Impervious Surface Areas             | b                   |           | a                     |

Net Increase / Decrease (circle): a – b = \_\_\_\_\_

Impervious Surface Ratio:

\_\_\_\_\_ ÷ \_\_\_\_\_ = \_\_\_\_\_  
Total Impervious Surface Areas Lot Area Impervious Surface Ratio

Continued on next page →

**Driveway or Garage (Accessory Structure) in Required Setback**

40% required setback area max. allowed

Allowable Coverage:

$$\frac{\text{Req'd Setback}}{\text{Width or length of lot}} \times \frac{\text{Req'd Yard Area}}{\text{Max. Allowable Cov.}} = \frac{\text{Req'd Setback}}{\text{Width or length of lot}} \times .4 =$$

Proposed Coverage:

Area in Req'd Setback

Driveway Coverage Ratio:

Area in Req'd Setback

+

Req'd Yard Area

=

Driveway Coverage Ratio

☐ This section not applicable

Compare



Per:  
Arch  
Eng

**Applicant to Complete the Following Information**

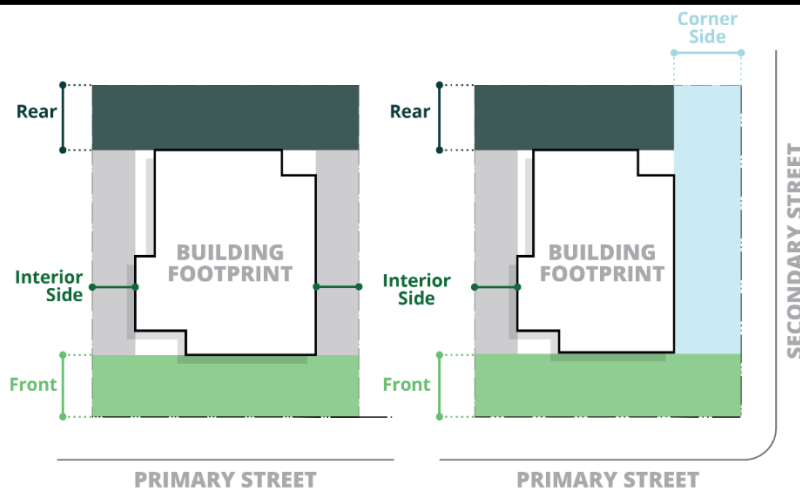
Name of person completing this worksheet

Telephone / Fax

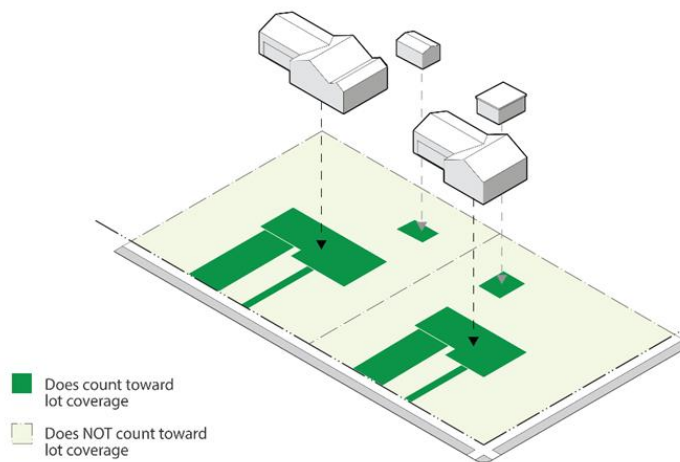
Date

- ☐ Owner
- ☐ Architect
- ☐ General Contractor
- ☐ Zoning Reviewer

Please Stamp  
Architect's Seal  
In Space Provided  
At Right



- Front Setback
- Corner Side Setback
- Interior Side Setback
- Rear Setback





## Building Site & Utility Data Worksheet

|                  |      |
|------------------|------|
| Property Address | Date |
|------------------|------|

**NOTE:** If your construction project will result in an increase in impervious surface coverage of greater than four hundred (400) square feet, all building site and utility data must be depicted on Civil Engineering Drawings. All other projects may submit this information (if applicable) on a Site Plan or Plat of Survey – See Sample

### 1. Construction Fencing

- Will your project require any excavation? ☐ Yes ☐ No  
 If 'Yes', will excavation exceed four (4) feet in depth? ☐ Yes ☐ No  
 Will the property be vacant during construction? ☐ Yes ☐ No

If you answered 'Yes' to any two (2) questions above, construction fencing (6' chain-link fencing) must be erected and displayed on a Site Plan or the Civil Engineering Drawing that encloses the entire **construction activity area**<sup>1</sup>.

<sup>1</sup>Construction activity area is the entire area that will be affected by the construction, including any access route across both public right-of-way and private property to the area of construction

### 2. Tree Preservation Requirements

- The following tree preservation requirements must be shown on the Site Plan or Civil Engineering Drawings: **Check if Applicable**
- All trees on the subject property located within the **construction activity area** (See Above) ☐
  - All trees located on neighboring properties that may be affected by construction ☐
  - Location of wood slat fencing around all trees greater than six (6) inches in diameter ☐

### 3. Water Service

- Will your project require any plumbing work (i.e. new/change piping or connections)? ☐ Yes ☐ No  
 What is the existing water service size? (Addition/Alteration Only)  inch ☐ Lead ☐ Copper  
 Is there any change to the water service size to be included in this permit application? ☐ Yes ☐ No  
 If 'Yes', what is the proposed water service size and show location on a Site Plan or the Civil Engineering Drawings. Contact Engineering Division, 847/272-4711 for site utility questions  inch

### 4. Sewer Service

- Is there any change, or new connection, to the existing sanitary or storm sewers to be included in this permit application? ☐ Yes ☐ No  
 If 'Yes', please indicate which and show on a Site Plan or the Civil Engineering Drawings. Contact Engineering Division, 847/272-4711 for site utility questions ☐ Sanitary ☐ Storm  
 If 'Yes', please describe (briefly) the change or the new connection:

### 5. Electrical Service

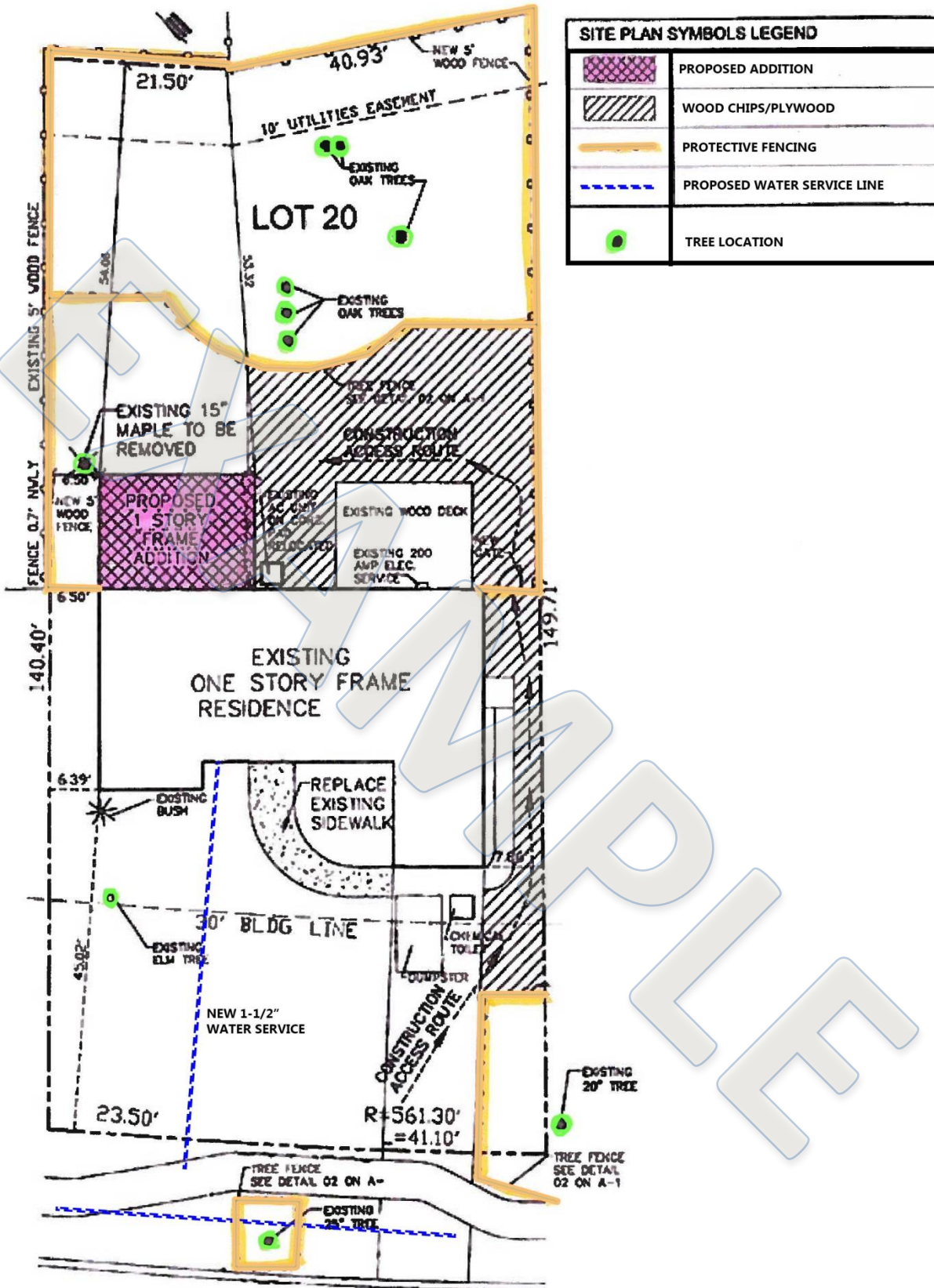
- What is the existing electrical service size? (Add'n/Alt'n Only)  amps ☐ U/Ground ☐ O/Head  
 Is there any change to, or new, electrical service to be included in this permit application? ☐ Yes ☐ No  
 If 'Yes', what is the proposed electrical service?  amps ☐ U/Ground ☐ O/Head

### 6. Mechanical (HVAC) Service

- Is there any change to, or new, mechanical system, or a new mechanical system to be included in this permit application? ☐ Yes ☐ No  
 If 'Yes', please describe (briefly) the modification or new system:

Person completing this form:

# Building Site & Utility Data Worksheet – Site/Plot Plan Example



## SITE PLAN

SCALE: 1/16"=1'-0"







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# FORM 3.2

VILLAGE OF NORTHBROOK  
Development & Planning Services

1225 Cedar Lane  
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847 664-4050 FAX: 847 272-5068  
www.northbrook.il.us

## Water Service & Meter Worksheet

|   |             |                           |  |  |     |
|---|-------------|---------------------------|--|--|-----|
| Address   |             |                           | Date   |  |     |
| <b>Fixture Load Calculations (Existing &amp; Proposed):</b>   |             |                           |  |  |     |
| <b>Fixture Type</b>   | <b>Unit</b> | <b>Number of Fixtures</b> | <b>Fixture Load</b>                                    |  |     |
| Water Closet (Toilet)   | 3 x         |                           | =  |  |     |
| Lavatory (Bath Sink)  | 1 x         |                           | =  |  |     |
| Bathtub/Shower  | 2 x         |                           | =  |  |     |
| Kitchen Sink  | 2 x         |                           | =  |  |     |
| Dishwasher  | 1 x         |                           | =  |  |     |
| Laundry Sink (Laundry Tray)                                   | 3 x         |                           | =  |  |     |
| Laundry Washing Machine                                       | 2 x         |                           | =  |  |     |
| <b>Total Fixture Load</b>                                     |             |                           | <b>=</b>   |  |     |
| <b>Water Service Pipe Size Req'd.</b><br>Based on chart below |             | in.                       | <b>Water Meter Size Req'd.</b><br>Based on chart below |  | in. |
| <b>Existing Water Service Size</b>                            |             | in.                       | <b>Existing Meter Size</b>                             |  | in. |

Information from 2014 Illinois State Plumbing Code, Section 890, Appendix A, Tables M & N

| Water Supply Fixture Units (W.S.F.U.)<br>for a supply system with flush tanks |              |                    |                                  |                   |                     |  |
|---|--------------|--------------------|----------------------------------|-------------------|---------------------|--|
| W.S.F.U.  | Demand (GPM) | Pipe Size (Inches) | Pressure Loss (PSI/100' of Pipe) | Velocity (Ft/Sec) | Meter Size (Inches) |  |
| 2 - 3   | 2            | 1/2                | 4.2                              | 2.7               | 5/8                 |  |
| 4 - 5   | 3            | 1/2                | 8.7                              | 4.2               | 5/8                 |  |
| 6 - 7   | 5            | 1/2                | 22.5                             | 7.0               | 5/8                 |  |
| 8 - 9   | 6.5          | 3/4                | 6.3                              | 4.3               | 5/8                 |  |
| 10 - 11   | 8            | 3/4                | 9.0                              | 5.4               | 3/4                 |  |
| 12 - 13   | 9.2          | 3/4                | 11.5                             | 6.1               | 3/4                 |  |
| 14 - 15   | 10.4         | 3/4                | 15.0                             | 6.9               | 3/4                 |  |
| 16 - 19   | 11.6         | 3/4                | 18.0                             | 7.7               | 3/4                 |  |
| 20 - 24   | 14           | 1                  | 7.2                              | 5.6               | 3/4                 |  |
| 25 - 29   | 17           | 1                  | 10.0                             | 6.6               | 3/4                 |  |
| 30 - 34   | 20           | 1                  | 13.6                             | 8.0               | 1                   |  |
| 35 - 39   | 22.5         | 1 1/4 (1 1/2)*     | 5.8                              | 5.7               | 1                   |  |
| 40 - 44   | 25           | 1 1/4 (1 1/2)*     | 7.0                              | 6.3               | 1                   |  |
| 45 - 49   | 27           | 1 1/4 (1 1/2)*     | 8.2                              | 6.9               | 1                   |  |
| 50 - 59   | 29           | 1 1/4 (1 1/2)*     | 9.5                              | 7.4               | 1                   |  |
| 60 - 69   | 32           | 1 1/2              | 5.0                              | 5.8               | 1 1/2               |  |
| 70 - 79   | 35           | 1 1/2              | 6.2                              | 6.4               | 1 1/2               |  |
| 80 - 89   | 38           | 1 1/2              | 7.0                              | 7.2               | 1 1/2               |  |
| 90 - 99   | 41           | 1 1/2              | 8.0                              | 7.5               | 1 1/2               |  |
| 100 - 119   | 43.5         | 1 1/2              | 8.7                              | 7.8               | 2                   |  |
| 120 - 139   | 48           | 2                  | 2.7                              | 5.0               | 2                   |  |
| 140 - 159   | 52.5         | 2                  | 3.1                              | 5.4               | 2                   |  |
| 160 - 179   | 57           | 2                  | 3.6                              | 5.8               | 2                   |  |
| 180 - 199   | 61           | 2                  | 3.9                              | 6.1               | 2                   |  |
| 200 - 224   | 65           | 2                  | 4.5                              | 6.6               | 2                   |  |
| 225 - 249   | 70           | 2                  | 5.2                              | 7.1               | 2                   |  |
| 250 - 274   | 75           | 2                  | 6.0                              | 7.7               | 2                   |  |

\*Water service tap is performed by Northbrook Public Works; as such 1-1/4 water service size will not be considered.

**THIS FORM MUST BE COMPLETED BY THE LICENSED PLUMBING CONTRACTOR:**

Name (Print) : \_\_\_\_\_

055# : \_\_\_\_\_

Date : \_\_\_\_\_



## Fire Protection *Letter of Understanding*

**Permit Address:** \_\_\_\_\_

Please complete this sheet for all building construction permit applications by marking (☒ or ☑) the appropriate category:

- ☐ **New Building, Additions & Major Renovations** (see *Single Family Residence Addition Exception* in box below with **new municipal amendment Sec 6-63:27. R313.2 Automatic Fire Sprinkler Systems Required for Major Renovations**)

Fire protection systems for all new buildings and additions to existing buildings, are required. Submit a separate Fire Protection Permit Application for review and separate permit issuance.

**Please be aware that Fire Sprinkler permit must be approved/issued prior to scheduling "Rough Framing" inspection. Failure to have received this approval will result in the immediate cancellation of this inspection until approval is granted.**

### ***Single Family Residence Addition Exception:***

Additions to single family residences that are not equipped with fire protection are not required to be sprinklered **unless the amount of added habitable floor area (excluding basement area) exceeds 115 percent of the habitable floor area (excluding basement area) of the existing dwelling, in which case an automatic residential sprinkler system shall be required for the entire residence. Such permits shall be classified as Major Renovation Permits.**

- ☐ Check this box if this is for an addition to a single family residence that **does not** have a fire protection system (fire sprinklers) **and does not qualify as a Major Renovation**

- ☐ **Alterations**

Please check the appropriate box indicating:

- ☐ YES, there is an existing fire sprinkler system      ☐ NO, there is not an existing fire sprinkler system

If there is an existing fire protection system, then a separate fire protection permit application and documents are required to be submitted.

**Please be aware that Fire Sprinkler permit must be approved/issued prior to scheduling "Rough Framing" inspection. Failure to have received this approval will result in the immediate cancellation of this inspection until approval is granted.**

### ***Please read and sign below:***

*I acknowledge and understand there are separate permit submittals required for any new or altered fire protection systems as indicated above; and that the failure to follow the submittal requirement may affect the granting of any occupancy of the structure or space.*

\_\_\_\_\_  
Name (print)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Company Name (print)

\_\_\_\_\_  
Date





## CONTRACTOR(S) OF RECORD

**\*\*IMPORTANT – Must be completed before permit can be issued\*\***

This **completed** form can be submitted anytime during review process or at permit pick up. It is the applicant's responsibility to COLLECT ALL REQUIRED DOCUMENTS (requirements of each contractor are listed below) and submit all together to the Village.

Permit Address: \_\_\_\_\_ Date: \_\_\_\_\_

### General Contractor:

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

### Electrical Contractor:

◆ Provide copy of current Electrical License

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

### Plumbing Contractor: INTERIOR WORK ONLY

◆ Provide copy of Plumber's 055

◆ Submit a Plumbing Letter of Intent

Name:

Address:

City, State, Zip:

Phone:

Email:

### Plumbing Contractor: WATER SERVICE ONLY

◆ Provide copy of Plumber's 055

◆ Submit a Plumbing Letter of Intent

Name:

Address:

City, State, Zip:

Phone:

Email:

### Mechanical Contractor:

◆ Contractor License NOT required

Name:

Address:

City, State, Zip:

Phone:

Email:

### Sewer Contractor:

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

**Concrete Contractor: FOUNDATION**

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

**Concrete Contractor: BASEMENT/GARAGE SLAB**

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

**Driveway Contractor:**

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

**Patio Contractor:**

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

**Patio Electrical Contractor:**

◆ Provide copy of current Electrical License

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone:

Email:

**Patio Plumbing Contractor:**

◆ Provide copy of Plumber's 055

◆ Submit a Plumbing Letter of Intent

Name:

Address:

City, State, Zip:

Phone:

Email:

**Other:**

Name:

Address:

City, State, Zip:

Phone:

Email:

**Other:**

Name:

Address:

City, State, Zip:

Phone:

Email:

3-31-2023

K:\1-Building Permits\Forms (Public & Web)\1-Ready Forms\Contractor-Of-Record-Form-6.2 - 3-31-23 Edit.Docx



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FORM 6.1

VILLAGE OF NORTHBROOK  
Development & Planning Services

1225 Cedar Lane  
Northbrook, Illinois 60062  
847 664-4050

[www.northbrook.il.us](http://www.northbrook.il.us)

**Contractor Business License Application**

**\*\*Completed applications can be submitted via email to [Permits@northbrook.il.us](mailto:Permits@northbrook.il.us)\*\***

**This application is required to be completed for all new and renewal licenses**

COMPANY NAME \_\_\_\_\_

D/B/A \_\_\_\_\_

ADDRESS \_\_\_\_\_ SUITE \_\_\_\_\_

CITY, STATE ZIP \_\_\_\_\_

PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_

EMAIL (required) \_\_\_\_\_

(Please print email address legibly!!)

**CONTRACTOR TYPE (Please check appropriate box):**

☐ **General Contractor \$100**

☐ **Plumbing Contractor N/A [No Village License required; Provide copy of current State Registration (055)]**

☐ **Sewer Contractor \$70**

☐ **Electrical Contractor \$70 [Provide Contractor Registration acknowledging both company and corresponding license holder]\***

\* If registration does not identify both, a Letter of Intent will be required identifying both company and license holder.

☐ **Pavement Contractor \$70**

Please check one of the following: ☐ **Concrete** ☐ **Asphalt/Sealcoat\*** ☐ **Pavers**

\* Contractors performing **sealcoating** are required to complete and submit the Village required [Seal Coat Affidavit](#).

☐ **Landscape Contractor \$0**

\* Contractors performing landscaping activities utilizing equipment including but not limited to mowers, trimmers, leaf blowers, or hedge clippers must obtain an annual landscape contractor business license.

Has the applicant(s) ever been convicted of or pleaded no contest to a crime of moral turpitude? (check box). ☐ Yes ☐ No

Has the applicant(s) ever been convicted of a felony or unsuccessfully defended a criminal or civil proceedings charging fraud, misrepresentation or unscrupulous business conduct (check box). ☐ Yes ☐ No

**AFFIDAVIT**

I (we) swear and affirm that all work performed pursuant to this business license application shall be in strict compliance with all provisions of the Northbrook Building Code and all other applicable statutes, laws, rules, regulations and ordinances. I (we) understand that, in the event noted code violations are not corrected during the construction of a permitted improvement, the Village of Northbrook reserves the right to revoke this license.

DATE \_\_\_\_\_ SIGNATURE OF OWNER \_\_\_\_\_

\*\*\*\*\*

Issued License no. \_\_\_\_\_