



VILLAGE OF NORTHBROOK
Development & Planning Services
1225 Cedar Lane
Northbrook, Illinois 60062
847 664-4050
www.northbrook.il.us

Single-Family Residential Basement or Attic

Submit the application and drawing requirements listed below for the finishing of any existing basement or attic to permits@northbrook.il.us. This permit type does not include review for any structural changes (see Single-Family Residential Alteration for more information).

Application Requirements:

- Permit Application Deposit of \$100 (Payment will be requested after the application is accepted)
- Form 1.1 - Permit Application
- Form 2.4 - Zoning Worksheet – Residential (*Needed for Attic Finish Only*)
- Form 3.1 - Building Site & Utility Data Worksheet
- Form 3.2 - Water Service & Meter Worksheet
- Form 5.1 - Fire Protection – Letter of Understanding
- Form 6.2 - Contractor of Record

Drawing Requirements: (Submit with permit application)

- Construction Drawings

Please direct any questions regarding the permit process to permits@northbrook.il.us
or call the Development and Planning Services Department at 847-664-4050.
Office hours are Monday-Friday, 8:30am – 4:30pm.

**FORM 1.1**

VILLAGE OF NORTHBROOK
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1225 Cedar Lane
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847 664-4050 FAX: 847 272-5068
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Permit Application

Permit Address _____ Application Date: _____

Property Type (check one): Single Family Residential Multi-Family
 Commercial/Retail Office Industrial
 Other: _____

Description of Work _____

Estimated Construction Value \$ _____ (required)

Primary Contact Information (note: all review correspondence will be emailed to the primary contact)

Name _____

Email _____ **please print clearly**

Phone _____ Fax _____

Check with the Permit Desk associates for any submittal questions 847-664-4050.

Property Owner's Information

Name _____

Address _____ City _____ State _____ Zip _____

Telephone _____ Email _____

Architect's Information **Not Applicable**

Name _____

Address _____ City _____ State _____ Zip _____

Telephone _____ Fax _____ Email _____

Contractor's Information **Type of Contractor** _____

Name _____

Address _____ City _____ State _____ Zip _____

Telephone _____ Fax _____ Email _____

Signature of Applicant: _____

Please Print: _____ Date: _____



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FORM 2.4

VILLAGE OF NORTHBROOK
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Zoning Worksheet – Residential

New Residence / Addition / Detached Garage / Gazebo / Pool House

Address of Proposed Project

Type of Project: New Residence Addition Detached Garage Gazebo/Pool House

Zoning Class

R-1 R-2 R-3 R-4 R-5

Lot Area

s.f.

Setbacks (Yards)

	Minimum Setback Required (ft)	Proposed Setback(ft)	Easement/Encroach.
Per:			
Arch			
Eng			
Front			
Corner / Side (Circle one)		a	
Side		b	
Rear	40		

Height

Max. allowed _____ ft
Proposed _____ ft

Stories: Max. allowed _____
Proposed _____ stories

Gross Floor Area (FAR)

This section not applicable

Proposed Floor Area Calculation:

	Existing (if applicable) (sf)	New/Added (sf)	Total (sf)
Per:			
Arch			
Eng			
Basement (if more above ground than below)			
First Floor (including attached garage)			
Second Floor			
Attic/Third Floor (finished or unfinished – circle one)			
Detached Garage			
Accessory Structure / Shed			
		Total Floor Areas	

Gross Floor Area Ratio:

_____ ÷ _____ = _____

Total Floor Areas Lot Area Proposed Floor Area Ratio

Maximum Building Coverage

This section not applicable

35% lot area maximum allowed

Allowable Bldg. Coverage: _____ x .35 = _____

Lot Area Max. Allow. Bldg. Coverage

Proposed Building Coverage Calculation:

	Existing (if applicable) (sf)	New Bldg. Cov. Added (sf)	Total
Per:			
Arch			
Eng			
First Floor (Incl. attached garage, window wells, covered porches/patios)			
Detached Garage			
Accessory Structure / Shed			
		Total Bldg. Areas	

Building Coverage Ratio:

_____ ÷ _____ = _____

Total Bldg. Areas Lot Area Bldg. Coverage Ratio

Maximum Lot Coverage (Impervious Surface)

This section not applicable

50% lot area maximum allowed:

Allowable Lot Coverage: _____ x .5 = _____

Lot Area Max. Allowable Lot Coverage

Proposed Impervious Surface Calculation:

	Existing Imp. Surf.	New/Added	Total Imp. Surf. (sf)
Per:			
Arch			
Eng			
Building footprint (Incl. attached garage)			
Detached Garage			
Driveway			
Walks / Stoops			
Deck / Patio			
Total Impervious Surface Areas	b		a

Net Increase / Decrease (circle): a – b = _____

Impervious Surface Ratio: _____ ÷ _____ = _____

Total Impervious Surface Areas Lot Area Impervious Surface Ratio

Compare

Compare

Continued on next page ➔

Driveway or Garage (Accessory Structure) in Required Setback

40% required setback area max. allowed

Allowable Coverage:

$$\square \text{ This section not applicable} \\ \frac{\text{Req'd Setback}}{\text{Width or length of lot}} \times \frac{\text{Req'd Yard Area}}{\text{Max. Allowable Cov.}} = \frac{\text{Area in Req'd Setback}}{\text{Area in Req'd Setback}} \times .4 = \frac{\text{Area in Req'd Setback}}{\text{Area in Req'd Setback}}$$

Per:

Arch

Eng

**Proposed Coverage:****Driveway Coverage Ratio:**

Area in Req'd Setback

Req'd Yard Area

Driveway Coverage Ratio

Applicant to Complete the Following Information

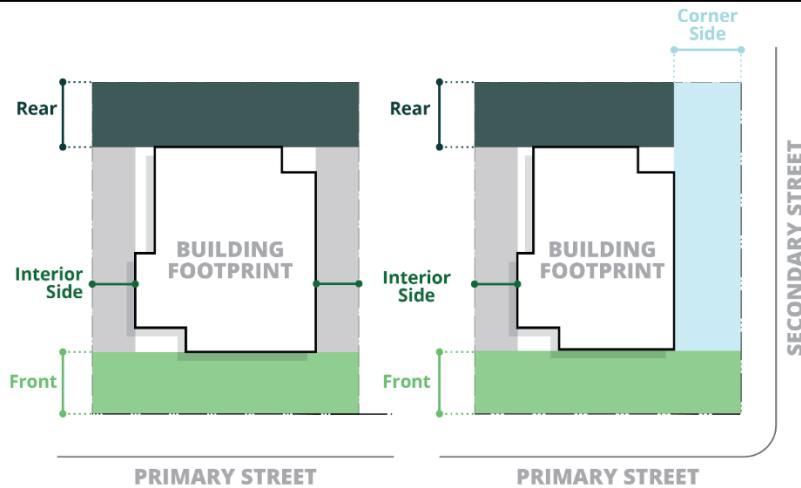
Name of person completing this worksheet

Telephone / Fax

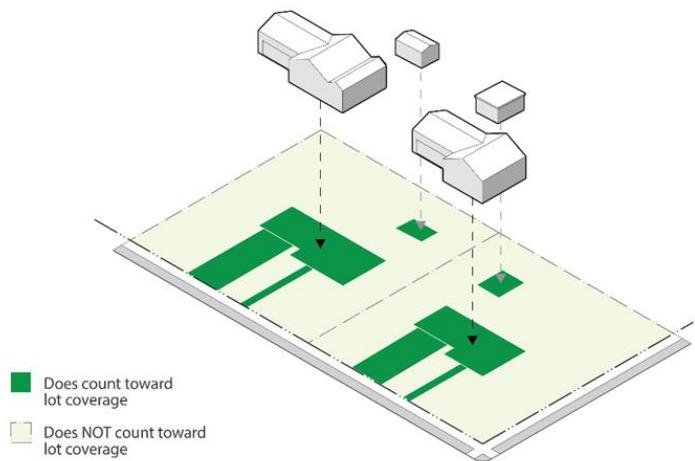
Date

**Please Stamp
Architect's Seal
In Space Provided
At Right**

- Owner
- Architect
- General Contractor
- Zoning Reviewer



- Front Setback
- Corner Side Setback
- Interior Side Setback
- Rear Setback





FORM 3.1

VILLAGE OF NORTHBROOK

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Building Site & Utility Data Worksheet

Property Address	Date
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NOTE: If your construction project will result in an increase in impervious surface coverage of greater than four hundred (400) square feet, all building site and utility data **must** be depicted on Civil Engineering Drawings. All other projects may submit this information (if applicable) on a Site Plan or Plat of Survey – See Sample

1. Construction Fencing

Will your project require any excavation? Yes No
If 'Yes', will excavation exceed four (4) feet in depth? Yes No
Will the property be vacant during construction? Yes No

If you answered 'Yes' to any two (2) questions above, construction fencing (6' chain-link fencing) **must** be erected and displayed on a Site Plan or the Civil Engineering Drawing that encloses the entire **construction activity area**¹.

¹*Construction activity area is the entire area that will be affected by the construction, including any access route across both public right-of-way and private property to the area of construction*

2. Tree Preservation Requirements

The following tree preservation requirements must be shown on the Site Plan or Civil Engineering Drawings:

1. All trees on the subject property located within the construction activity area (See Above)	<input type="checkbox"/>
2. All trees located on neighboring properties that may be affected by construction	<input type="checkbox"/>
3. Location of wood slat fencing around all trees greater than six (6) inches in diameter	<input type="checkbox"/>

3. Water Service

Will your project require any plumbing work (i.e. new/change piping or connections)? Yes No
What is the existing water service size? (*Add'n/Alt'n Only*) inch Lead Copper
Is there any change to the water service size to be included in this permit application? Yes No
If 'Yes', what is the proposed water service size and show location on a Site Plan or the Civil Engineering Drawings. Contact Engineering Division, 847/272-4711 for site utility questions inch

4. Sewer Service

Is there any change, or new connection, to the existing sanitary or storm sewers to be included in this permit application? Yes No
If 'Yes', please indicate which and show on a Site Plan or the Civil Engineering Drawings. Contact Engineering Division, 847/272-4711 for site utility questions Sanitary Storm
If 'Yes', please describe (briefly) the change or the new connection:

5. Electrical Service

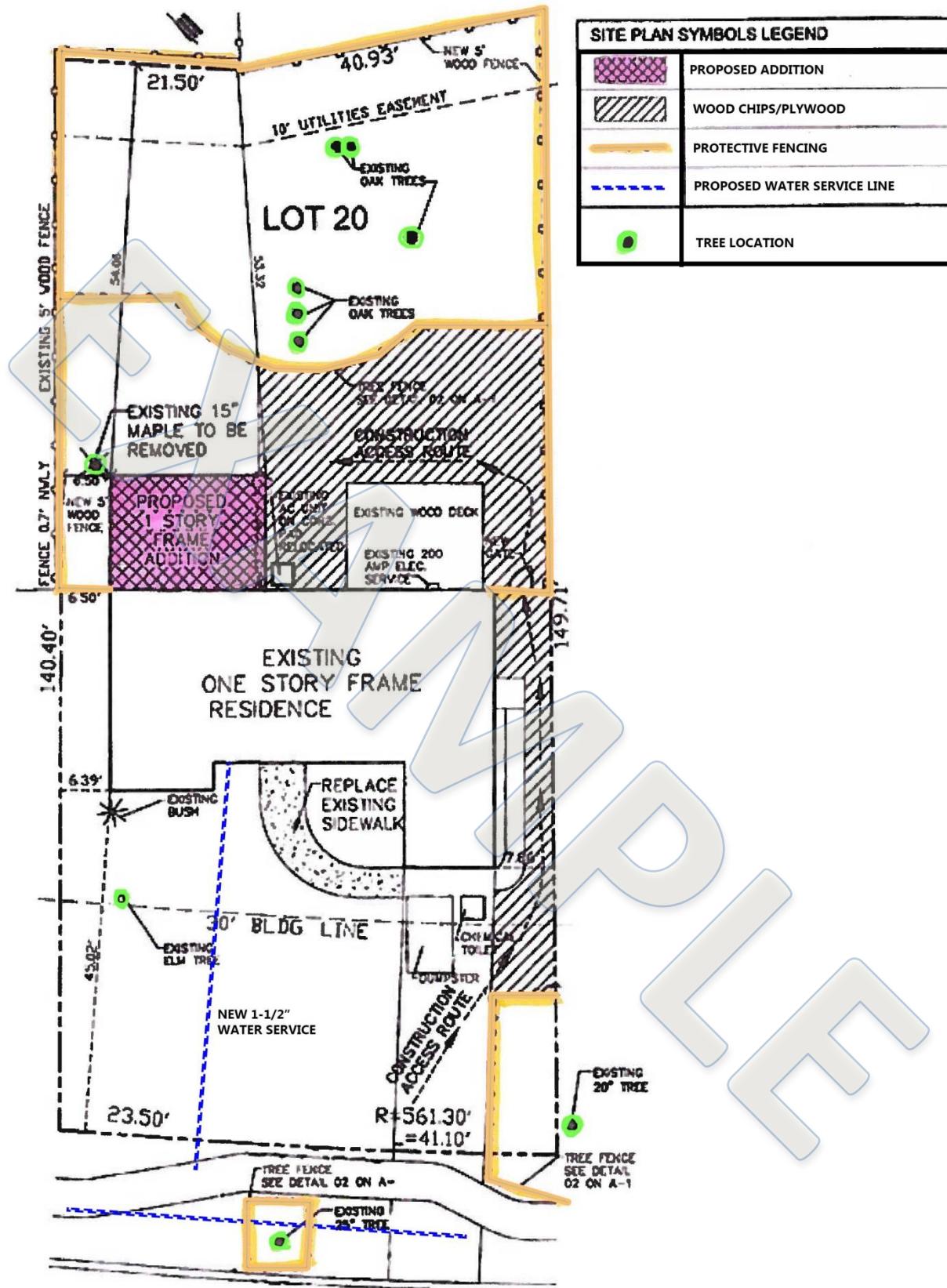
What is the existing electrical service size? (*Add'n/Alt'n Only*) amps U/Ground O/Head
Is there any change to, or new, electrical service to be included in this permit application? Yes No
If 'Yes', what is the proposed electrical service? amps U/Ground O/Head

6. Mechanical (HVAC) Service

Is there any change to, or new, mechanical system, or a new mechanical system to be included in this permit application? Yes No
If 'Yes', please describe (briefly) the modification or new system:

Person completing this form:

Building Site & Utility Data Worksheet – Site/Plot Plan Example



SITE PLAN

SCALE: 1/16"=1'-0"



**FORM 3.2**

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Water Service & Meter Worksheet

Address	Date		
Fixture Load Calculations (Existing & Proposed):			
Fixture Type	Unit	Number of Fixtures	Fixture Load
Water Closet (Toilet)	3 x		=
Lavatory (Bath Sink)	1 x		=
Bathtub/Shower	2 x		=
Kitchen Sink	2 x		=
Dishwasher	1 x		=
Laundry Sink (Laundry Tray)	3 x		=
Laundry Washing Machine	2 x		=
			Total Fixture Load =
Water Service Pipe Size Req'd. Based on chart below	in.	Water Meter Size Req'd. Based on chart below	in.
Existing Water Service Size	in.	Existing Meter Size	in.

Information from 2014 Illinois State Plumbing Code, Section 890, Appendix A, Tables M & N

Water Supply Fixture Units (W.S.F.U.)					
for a supply system with flush tanks					
W.S.F.U.	Demand (GPM)	Pipe Size (Inches)	Pressure Loss (PSI/100' of Pipe)	Velocity (Ft/Sec)	Meter Size (Inches)
2 - 3	2	1/2	4.2	2.7	5/8
4 - 5	3	1/2	8.7	4.2	5/8
6 - 7	5	1/2	22.5	7.0	5/8
8 - 9	6.5	3/4	6.3	4.3	5/8
10 - 11	8	3/4	9.0	5.4	3/4
12 - 13	9.2	3/4	11.5	6.1	3/4
14 - 15	10.4	3/4	15.0	6.9	3/4
16 - 19	11.6	3/4	18.0	7.7	3/4
20 - 24	14	1	7.2	5.6	3/4
25 - 29	17	1	10.0	6.6	3/4
30 - 34	20	1	13.6	8.0	1
35 - 39	22.5	1 1/4 (1 1/2)*	5.8	5.7	1
40 - 44	25	1 1/4 (1 1/2)*	7.0	6.3	1
45 - 49	27	1 1/4 (1 1/2)*	8.2	6.9	1
50 - 59	29	1 1/4 (1 1/2)*	9.5	7.4	1
60 - 69	32	1 1/2	5.0	5.8	1 1/2
70 - 79	35	1 1/2	6.2	6.4	1 1/2
80 - 89	38	1 1/2	7.0	7.2	1 1/2
90 - 99	41	1 1/2	8.0	7.5	1 1/2
100 - 119	43.5	1 1/2	8.7	7.8	2
120 - 139	48	2	2.7	5.0	2
140 - 159	52.5	2	3.1	5.4	2
160 - 179	57	2	3.6	5.8	2
180 - 199	61	2	3.9	6.1	2
200 - 224	65	2	4.5	6.6	2
225 - 249	70	2	5.2	7.1	2
250 - 274	75	2	6.0	7.7	2

*Water service tap is performed by Northbrook Public Works; as such 1-1/4 water service size will not be considered.

THIS FORM MUST BE COMPLETED BY THE LICENSED PLUMBING CONTRACTOR:

Name (Print) : _____

055# : _____

Date : _____



FORM 5.1a

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Fire Protection Letter of Understanding

Permit Address: _____

Please complete this sheet for all building construction permit applications by marking (☒ or ☑) the appropriate category:

New Building, Additions & Major Renovations (see *Single Family Residence Addition Exception* in box below with **new municipal amendment Sec 6-63:27. R313.2 Automatic Fire Sprinkler Systems Required for Major Renovations**)

Fire protection systems for all new buildings and additions to existing buildings, are required. Submit a separate Fire Protection Permit Application for review and separate permit issuance.

Please be aware that Fire Sprinkler permit must be approved/issued prior to scheduling "Rough Framing" inspection . Failure to have received this approval will result in the immediate cancellation of this inspection until approval is granted.

Single Family Residence Addition Exception:

Additions to single family residences that are not equipped with fire protection are not required to be sprinklered **unless the amount of added habitable floor area (excluding basement area) exceeds 115 percent of the habitable floor area (excluding basement area) of the existing dwelling, in which case an automatic residential sprinkler system shall be required for the entire residence. Such permits shall be classified as Major Renovation Permits.**

Check this box if this is for an addition to a single family residence that **does not** have a fire protection system (fire sprinklers) **and does not qualify as a Major Renovation**

Alterations

Please check the appropriate box indicating:

YES, there is an existing fire sprinkler system NO, there is not an existing fire sprinkler system

If there is an existing fire protection system, then a separate fire protection permit application and documents are required to be submitted.

Please be aware that Fire Sprinkler permit must be approved/issued prior to scheduling "Rough Framing" inspection . Failure to have received this approval will result in the immediate cancellation of this inspection until approval is granted.

Please read and sign below:

I acknowledge and understand there are separate permit submittals required for any new or altered fire protection systems as indicated above; and that the failure to follow the submittal requirement may affect the granting of any occupancy of the structure or space.

Name (print)

Signature

Company Name (print)

Date



FORM 6.2

Village of Northbrook
Development & Planning Services
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Permits@northbrook.il.us
www.northbrook.il.us

CONTRACTOR(S) OF RECORD

****IMPORTANT – Must be completed before permit can be issued****

This **completed** form can be submitted anytime during review process **or** at permit pick up. It is the applicant's responsibility to COLLECT ALL REQUIRED DOCUMENTS (requirements of each contractor are listed below) and submit all together to the Village.

Permit Address: _____ Date: _____

General Contractor:

- ◆ Contractor must have a current Village License

Name: _____

Address: _____

City, State, Zip: _____

Phone: _____ Email: _____

Electrical Contractor:

- ◆ Provide copy of current Electrical License
- ◆ Contractor must have a current Village License

Name: _____

Address: _____

City, State, Zip: _____

Phone: _____ Email: _____

Plumbing Contractor: **INTERIOR WORK ONLY**

- ◆ Provide copy of Plumber's 055
- ◆ Submit a Plumbing Letter of Intent

Name: _____

Address: _____

City, State, Zip: _____

Phone: _____ Email: _____

Plumbing Contractor: **WATER SERVICE ONLY**

- ◆ Provide copy of Plumber's 055
- ◆ Submit a Plumbing Letter of Intent

Name: _____

Address: _____

City, State, Zip: _____

Phone: _____ Email: _____

Mechanical Contractor:

- ◆ Contractor License NOT required

Name: _____

Address: _____

City, State, Zip: _____

Phone: _____ Email: _____

Sewer Contractor:

- ◆ Contractor must have a current Village License

Name: _____

Address: _____

City, State, Zip: _____

Phone: _____ Email: _____

Concrete Contractor: FOUNDATION

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone: Email:

Concrete Contractor: BASEMENT/GARAGE SLAB

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone: Email:

Driveway Contractor:

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone: Email:

Patio Contractor:

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone: Email:

Patio Electrical Contractor:

◆ Provide copy of current Electrical License

◆ Contractor must have a current Village License

Name:

Address:

City, State, Zip:

Phone: Email:

Patio Plumbing Contractor:

◆ Provide copy of Plumber's 055

◆ Submit a Plumbing Letter of Intent

Name:

Address:

City, State, Zip:

Phone: Email:

Other:

Name:

Address:

City, State, Zip:

Phone: Email:

Other:

Name:

Address:

City, State, Zip:

Phone: Email:



FORM 6.1

VILLAGE OF NORTHBROOK
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Contractor Business License Application

Completed applications can be submitted via email to Permits@northbrook.il.us

This application is required to be completed for all new and renewal licenses

COMPANY NAME _____

D/B/A _____

ADDRESS _____ SUITE _____

CITY, STATE ZIP _____

PHONE _____ CELL PHONE _____

EMAIL (required) _____
(Please print email address legibly!!)

CONTRACTOR TYPE (Please check appropriate box):

General Contractor \$100

Plumbing Contractor N/A [No Village License required; Provide copy of current State Registration (055)]

Sewer Contractor \$70

Electrical Contractor \$70 [Provide Contractor Registration acknowledging both company and corresponding license holder]*

* If registration does not identify both, a Letter of Intent will be required identifying both company and license holder.

Pavement Contractor \$70

Please check one of the following: **Concrete** **Asphalt/Sealcoat*** **Pavers**

* Contractors performing **sealcoating** are required to complete and submit the Village required [Seal Coat Affidavit](#).

Landscape Contractor \$0

* Contractors performing landscaping activities utilizing equipment including but not limited to mowers, trimmers, leaf blowers, or hedge clippers must obtain an annual landscape contractor business license.

Has the applicant(s) ever been convicted of or pleaded no contest to a crime of moral turpitude? (check box). Yes No
Has the applicant(s) ever been convicted of a felony or unsuccessfully defended a criminal or civil proceedings charging fraud, misrepresentation or unscrupulous business conduct (check box). Yes No

AFFIDAVIT

I (we) swear and affirm that all work performed pursuant to this business license application shall be in strict compliance with all provisions of the Northbrook Building Code and all other applicable statutes, laws, rules, regulations and ordinances. I (we) understand that, in the event noted code violations are not corrected during the construction of a permitted improvement, the Village of Northbrook reserves the right to revoke this license.

DATE _____

SIGNATURE OF OWNER _____

Issued License no. _____