

## **Ordinance 2019-77**

### **An Ordinance Granting a Special Permit for an Adult Use Cannabis Dispensary and Variations for Yard Depth and Loading Spaces (430 Dundee Road – Crossroads Broadway, LLC & Greenhouse Group, LLC) (Plan Commission Docket No. PCD-19-13)**

Passed by the Board of Trustees, 12/10/2019

Printed and Published 12/11/2019

Printed and Published in Pamphlet Form  
by Authority of the  
President and Board of Trustees  
VILLAGE OF NORTHBROOK  
COOK COUNTY, ILLINOIS

I hereby certify that this document  
was properly published on the date  
stated above.

/s/ Debra J. Ford  
Village Clerk

## **Ordinance 2019-77**

BE IT ORDAINED by the President and Board of Trustees of the Village of Northbrook, County of Cook and State of Illinois THAT:

### **An Ordinance Granting a Special Permit for an Adult Use Cannabis Dispensary and Variations for Yard Depth and Loading Spaces**

**(430 Dundee Road – Crossroads Broadway, LLC & Greenhouse Group, LLC  
(Plan Commission Docket No. PCD-19-13)**

shall be and is hereby adopted as follows:

#### Section 1. BACKGROUND.

Greenhouse Group, LLC (“*Applicant*”) is the prospective lessee of the parcels of real property commonly known as 430 Dundee Road and 755 Skokie Boulevard (collectively, the “*Property*”) which is owned by Crossroads Broadway, LLC (“*Owner*”) and proposes to operate an adult-use cannabis dispensary (“*Dispensary*”) on the Property.

On October 22, 2019 the Board of Trustees of the Village of Northbrook adopted Ordinance No. 2019-70 which amended the Northbrook Zoning Code to allow “Adult Use Cannabis Dispensary” as a special permit use in the C-5 District.

The parcel of property commonly known as 755 Skokie Boulevard is, and has been, located in the C-5 Boulevard Commercial District. On December 10, 2019 the Village President and Board of Trustees approved (a) Ordinance No. 2019-76 rezoning the parcel of property located at 430 Dundee Road from the O-3 General Office District to the C-5 Boulevard Commercial District and (b) Resolution No. 2019-R162 approving a plat of consolidation for the Property combining the 430 Dundee Road parcel and the 755 Skokie Boulevard parcel into a single subdivision lot. With the passage of Ordinance No. 2019-77, the entirety of the Property is located in the C-5 Boulevard Commercial District.

*The Applicant has requested relief from the Village of Northbrook’s Zoning Code (1988), as amended, allow the Dispensary to operate on the Property by special permit. The Applicant proposes to renovate an existing one story building on the Property to operate the Dispensary. In addition to the required special use, the Applicant has requested variations from the requirements of the Northbrook Zoning Code (1988), as amended (“Zoning Code”), to (x) reduce the required interior north yard to accommodate the*

*existing parking lot on the Property; and (y) reduce the required number of loading spaces on the Property from one to zero (collectively, the “**Requested Relief**”).*

The President and Board of Trustees hereby find that it is in the best interest of the Village and the public to adopt the Requested Relief in accordance with the Zoning Code and pursuant to the Village's home rule powers.

Section 2.        DESCRIPTION OF PROPERTY.

The Property is legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance. The Property is located within the C-5 Boulevard Commercial District.

Section 3.        PUBLIC MEETINGS & HEARINGS.

A public hearing to consider the Requested Relief was duly advertised on September 26, 2019 in the *Northbrook Star* and was held at the Plan Commission's regular meeting on October 15, 2019 and continued to November 5, 2019. On November 19, 2019 the Plan Commission formally adopted Resolution No. 19-PC-18 recommending approval of the Requested Relief.

Section 4.        SPECIAL PERMIT.

Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, a special permit to allow an Adult Use Cannabis Dispensary (Northbrook SIC Code No. 5912.02) on the Property is hereby granted to the Applicant in accordance with and pursuant to Section 11-602 of the Zoning Code and the home rule powers of the Village of Northbrook.

Section 5.        VARIATIONS.

Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, the following variations are hereby granted for the Property in accordance with and pursuant to Section 11-703 of the Zoning Code and the home rule powers of the Village of Northbrook:

A.        A variation to reduce the required north interior yard from five feet to four feet to accommodate the existing parking lot on the Property; and

B.        A variation to reduce the required number loading spaces provided on the Property from one to zero.

Section 6.        CONDITIONS.

The special permit granted in Section 4 and the variations granted in Section 5 above shall be, and are hereby, expressly subject to and contingent upon each of the following conditions, restrictions and provisions:

A. Dispensary Operational Conditions. The Dispensary shall at all times be operated in full compliance with the following standards and requirements:

1. State Licenses. The Dispensary must obtain and, at all times, maintain a valid professional license issued by the Illinois Department of Financial and Professional Regulation to operate a Cannabis Dispensary. Copies of all state licenses as well as all renewals shall be provided to the Village Manager no later than 30 days of

issuance as well as copies of corresponding application materials, including all required certifications, declarations, and affidavit, for state licenses and corresponding license renewals.

2. Supplemental Submissions. The Applicant shall provide the Village's Department of Development and Planning Services, concurrent with its submission to the Illinois Department of Financial and Professional Regulation, a copy of the Applicant's application for a state license to operate the Dispensary. These materials shall include, at minimum, the following elements:
  - a. The names and addresses of all principal officers of the Applicant that will operate the Cannabis Dispensary;
  - b. A description of the process of dispensing cannabis from the Dispensary;
  - c. A description of air treatment systems that will be installed in the Dispensary to reduce odors; and
  - d. The Applicant's plan for community engagement.

Information, documents, and plans submitted pursuant to this section may be in draft format pending approval from the Illinois Department of Finance and Professional Regulation. The Village reserves the right to request and inspect any additional materials submitted by the Applicant to the Illinois Department of Financial and Professional Regulation.

3. Signage Required by Law. The Dispensary shall maintain all mandatory signage required by state or federal law.
4. Curbside Delivery Prohibited. The Dispensary shall not be permitted to have any accessory drive-through facilities or provide drive-through or "curbside" delivery service.
5. Signage. Notwithstanding any provision of the Zoning Code to the contrary, the Dispensary's signage plan must comply with the following standards:
  - a. Exterior signs on the building shall not completely cover the windows of the Dispensary.
  - b. Electronic message boards are not permitted on the Property.
  - c. Signage for the Dispensary may not contain cannabis imagery such as cannabis leaves, plants, smoke, paraphernalia, or cartoonish imagery oriented toward youth, or language referencing cannabis.
6. Security and Video Surveillance. The Dispensary must install and maintain in good working order security, video surveillance, and inventory protection and control systems: (a) as required by applicable state laws and regulations; and (b) in conformance with a security plan approved in advance by the Village Chief of Police.

7. Lighting. All interior, exterior and site lighting for the Dispensary must be installed and maintained in good working order and of sufficient wattage for security cameras and the safety of customers and employees.
8. On-Site Conduct.
  - a. Loitering is prohibited on the Property, including in the Dispensary's parking lot.
  - b. Smoking, inhaling, or otherwise consuming cannabis products is prohibited within the Dispensary, in the Dispensary's parking lot, or anywhere on the Property.
9. Minimum Age. No person under the age of 21 may be permitted to enter the Dispensary, except as authorized by state law.
10. Hours of Operation. The Dispensary may operate only between 7:00 a.m. and 10:00 p.m.

B. Directional Signage. The Applicant will install on-site directional signage to direct vehicular traffic to exit via Henrici Drive for westbound Dundee Road.

C. Compliance with Plans. The Dispensary on the Property shall be constructed, operated, and maintained in compliance with the following plans except for minor changes and site work approved by the Director of Development & Planning Services in accordance with all applicable Village codes, ordinances, and standards:

1. "Norty's Consolidation Plat," prepared by Mackle Consultants, LLC, consisting of 1 page, with a latest revision date of October 4, 2019;
2. "Site Plan," prepared by Camburas & Theodore, Ltd., consisting of one sheet, with a latest revision date of September 16, 2019, a copy of which is attached to, and by this reference made a part of, this Ordinance as ***Exhibit B***;
3. "Floor Plan." prepared by Camburas & Theodore, Ltd. consisting of one sheet, with a latest revision date of September 5, 2019, a copy of which is attached to, and by this reference made a part of, this Ordinance as ***Exhibit C***;
4. "Traffic Sign Plan." prepared by Camburas & Theodore, Ltd. consisting of one sheet, with a latest revision date of September 16, 2019, a copy of which is attached to, and by this reference made a part of, this Ordinance as ***Exhibit D***;
5. "Sign Plan", prepared by National Awning & Sign, consisting of 8 pages, with a latest revision date of October 8, 2019, a copy of which is attached to, and by this reference made a part of, this Ordinance as ***Exhibit E***.

D. One Year Operational Compliance, Parking, and Access Review. The special permit granted by Section 3 will undergo administrative review by Village staff one year after the

issuance of a Certificate of Occupancy to the Applicant for compliance with the special permit standards and to assess the parking and vehicle site access.

E. Periodic Traffic Impact Review. No later than one year after the issuance of a Certificate of Occupancy to the Applicant for the Facility, Village staff shall review the impact that traffic caused by the Facility has imposed on surrounding properties and may require Applicant to make changes to the directional signage and/or site circulation pattern for the Facility, at the sole cost and expense of the Applicant. The traffic impact review described in this Section 6.E may be conducted at any time at the request of the Chief of Police if deemed necessary to preserve and protect the safety of the public.

F. Lighting Review. Prior to the issuance of a building permit for the Dispensary, the Applicant shall provide the Architectural Control Commission with a revised lighting plan incorporating parking lot lighting sufficient to comply with all applicable accessibility requirements, including the Americans with Disability Act.

G. Landscaped Area Plan. The Applicant has agreed to prepare a landscape plan for the southeast corner of the Property to provide supplemental greenspace, visual buffering from the Dundee/Skokie intersection, and increase the permeable area of the Property. This landscape plan will be submitted to the Architectural Control Commission for review and comment within six months of the effective date of this Ordinance.

Section 7.        FAILURE TO COMPLY WITH CONDITIONS.

Upon failure or refusal of the Applicant to comply with any or all of the conditions, restrictions or provisions of this Ordinance, the special permit granted in Section 4 or the variations granted in Section 5 of this Ordinance shall, at the sole discretion of the Village Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village Board of Trustees may not so revoke the special permit and variations unless it shall first provide the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Board of Trustees. In the event of revocation, the development and use of the Property shall be governed solely by the regulations of the C-5 Boulevard Commercial District, as the same may, from time to time, be amended. Further, in the event of such revocation of the special permit and variations the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. The Applicant acknowledges that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice to the Applicant and Owner or their successor required by this Section is given.

Section 8.        TERM.

The special permit granted in Section 3 shall have a term of 20 years.

Section 9.        AMENDMENT TO SPECIAL PERMIT.

Any amendment to the special permit granted by this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Code.

Section 10.      BINDING EFFECT; TRANSFERABILITY.

The privileges, obligations, and provisions of each and every Section of this Ordinance, are for the sole benefit of, and shall be binding on, the Applicant, except as otherwise expressly provided in this Ordinance. Nothing in this Ordinance shall be deemed to allow this Ordinance to be transferred to any person or entity unless and until (a) such person or entity ("Transferee") executes and files with the Village Clerk an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance in a form acceptable to the Village Manager and (b) the Board of Trustees has approved such transfer by resolution duly adopted.

Section 11.      EFFECTIVE DATE.

A.      This Ordinance shall be effective only upon the occurrence of all of the following events:

- i.      passage by the Board of Trustees of the Village of Northbrook by a majority vote in the manner required by law;
- ii.      publication in pamphlet form in the manner required by law;
- iii.      the filing by the Applicant and the Owner with the Village Clerk of an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance. Said unconditional agreement and consent shall be in the form of **Exhibit F**, attached to and made a part of this Ordinance by this reference; and
- iv.      recordation of this Ordinance, together with such exhibits as the Village Clerk shall deem appropriate for recordation, with the Cook County Recorder of Deeds. The Applicant shall bear the full cost of such recordation.

B.      In the event that the Applicant and Owner does not file with the Village Clerk a fully executed copy of the unconditional agreement and consent referenced in Paragraph 11.A.iii of this Ordinance within 90 days after the date of passage of this Ordinance by the President and Board of Trustees, the corporate authorities shall have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

Adopted: 12/10/2019

<b>RESULT:</b>	<b>ADOPTED [6 TO 0]</b>
<b>MOVER:</b>	Kathryn Ciesla, Trustee
<b>SECONDER:</b>	Muriel Collison, Trustee
<b>AYES:</b>	Ciesla, Israel, Collison, Han, Ross, Hebl
<b>ABSTAIN:</b>	Sandra Frum

ATTEST:

/s/ Debra J. Ford  
Village Clerk

/s/ Sandra E. Frum  
Village President

**EXHIBIT A**

**LEGAL DESCRIPTION OF PROPERTY**

**PARCEL 1A:**

LOT 1 IN COUNTRY INN RESUBDIVISION OF LOTS 4 THROUGH 6 AND 11 THROUGH 21 AND VACATED ALLEYS IN BLOCK 21, IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE SUBDIVISION RECORDED JUNE 21, 1927 AS DOCUMENT NO. 9692524 IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**PARCEL 2A:**

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 1 IN COUNTRY INN RESUBDIVISION RECORDED OCTOBER 16, 1976 AS DOCUMENT NO. 23258170, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 2, AFORESAID; THENCE SOUTH 89 DEGREES, 20 MINUTES, 50 SECONDS EAST ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 1, 66.02 FEET; THENCE SOUTH 00 DEGREES, 50 SECONDS, 50 SECONDS EAST, 87.80 FEET; THENCE SOUTHERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE WEST, RADIUS 1358.50 FEET CENTRAL ANGLE 02 DEGREES, 37 MINUTES, 48 SECONDS, 62.36 FEET; THENCE NORTH 89 DEGREES, 20 MINUTES, 50 SECONDS WEST, 60.47 FEET TO THE WEST LINE OF HENRICI DRIVE, THENCE NORTH 00 DEGREES, 50 MINUTES, 50 SECONDS WEST ALONG THE AFORESAID WEST LINE, 150.05 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

**PARCEL 1:**

THAT PART OF LOT 7 IN BLOCK 21 IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHEAST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF A LINE EXTENDED FROM THE NORTHEAST CORNER OF LOT 7, AFORESAID TO THE SOUTHWEST CORNER OF SAID LOT 7, IN COOK COUNTY, ILLINOIS.

**PARCEL 2:**

THE NORTHEASTERLY 1/2 OF THE NORTHWESTERLY/SOUTHEASTERLY 20-FOOT VACATED PUBLIC ALLEY (AS LAID OUT IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE ROAD SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 2), LYING NORTH OF THE SOUTH LINE OF LOT 7 EXTENDED WEST AND LYING SOUTHEASTERLY OF THE NORTH LINE OF LOT 7, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 3:

LOTS 9 AND 10 AND THE SOUTH 1/2 OF THE VACATED ALLEY LYING NORTH OF AND ADJOINING SAID LOTS 9 AND 10 AND LYING EAST OF THE SOUTHWEST LINE OF LOT 10 EXTENDED NORTHWESTERLY, AND LYING WEST OF THE EAST LINE OF LOT 9 EXTENDED, ALL IN BLOCK 21 IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE ROAD SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS; BEGINNING AT THE SOUTHEAST CORNER OF LOT 9 IN BLOCK 21 IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE ROAD SUBDIVISION RECORDED JUNE 21, 1927 AS DOCUMENT NO. 9692524; THENCE NORTH 00 DEGREES, 57 MINUTES, 57 SECONDS WEST ALONG THE EAST LINE OF AFORESAID LOT 9 TO THE CENTER LINE OF THE VACATED ALLEY; THENCE SOUTH 89 DEGREES, 59 MINUTES, 50 SECONDS EAST, ALONG THE EXTENSION OF THE CENTER LINE OF THE VACATED ALLEY, 56.47 FEET TO THE WEST RIGHT-OF-WAY LINE OF HENRICI DRIVE; THENCE SOUTH 00 DEGREES, 57 MINUTES, 57 SECONDS EAST ALONG SAID WEST RIGHT-OF-WAY LINE, 90.01 FEET; THENCE SOUTHWESTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE NORTHWEST, RADIUS 20.00 FEET, CENTRAL ANGLE 90 DEGREES, 00 MINUTES, 21 SECONDS, 31.42 FEET TO THE NORTH RIGHT-OF-WAY LINE OF DUNDEE ROAD; THENCE NORTH 89 DEGREES, 59 MINUTES, 50 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, 36.13 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 5:

THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF LOT 1 IN COUNTRY INN RESUBDIVISION RECORDED OCTOBER 16, 1976 AS DOCUMENT NO. 23258170, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 2, AFORESAID; THENCE SOUTH 89 DEGREES, 20 MINUTES, 50 SECONDS EAST ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 1, 66.02 FEET; THENCE SOUTH 00 DEGREES, 50 MINUTES, 50 SECONDS EAST, 87.80 FEET; THENCE SOUTHERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE WEST RADIUS 1358.50 FEET CENTRAL ANGLE 02 DEGREES, 37 MINUTES, 48 SECONDS, 62.36 FEET TO THE POINT OF BEGINNING; CONTINUING ALONG SAID CURVE, CENTRAL ANGLE 02 DEGREES, 29 MINUTES, 24 SECONDS, 59.04 FEET; THENCE SOUTH 08 DEGREES, 00 MINUTES, 54 SECONDS WEST 233.11 FEET TO THE NORTH LINE OF DUNDEE ROAD, SAID LINE BEING 64.00 FEET NORTH AS MEASURED AT RIGHT ANGLES THERETO: THENCE NORTH 89 DEGREES, 59 MINUTES, 50 SECONDS WEST, 36.40 FEET TO A POINT ON A 20.00 FOOT RADIUS CURVE, THE CENTER OF CIRCLE OF SAID CURVE BEARS NORTH 00 DEGREES, 00 MINUTES, 10 SECONDS EAST FROM SAID POINT; THENCE NORTHERLY ALONG SAID CURVE 31.42 FEET, CENTRAL ANGLE 90 DEGREES, 00 MINUTES, 21 SECONDS;

THENCE NORTH 00 DEGREES, 57 MINUTES, 57 SECONDS WEST ALONG TANGENT 270.18 FEET: THENCE SOUTH 89 DEGREES, 20 MINUTES, 50 SECONDS EAST, 60.47 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 6:

THAT PART OF LOT 7 IN BLOCK 21 IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE ROAD SUBDIVISION, BEING A SUBDIVISION OF THE SOUTHEAST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF A LINE EXTENDED FROM THE NORTHEAST CORNER OF LOT 7, AFORESAID, TO THE SOUTHWEST CORNER OF SAID LOT 7, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 7:

THE NORTH HALF OF THE VACATED ALLEY LYING SOUTH OF LOT 7 IN BLOCK 21 IN HUGHES-BROWN-MOORE CORPORATION'S RESUBDIVISION OF UNITED REALTY COMPANY'S DUNDEE ROAD SUBDIVISION RECORDED JUNE 21, 1927 AS DOCUMENT NO. 9692524, BEING A SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST LINE OF COUNTY INN RESUBDIVISION, DOCUMENT NO. 2328170, ALL IN COOK COUNTY, ILLINOIS.

ALTERNATELY DESCRIBED AS:

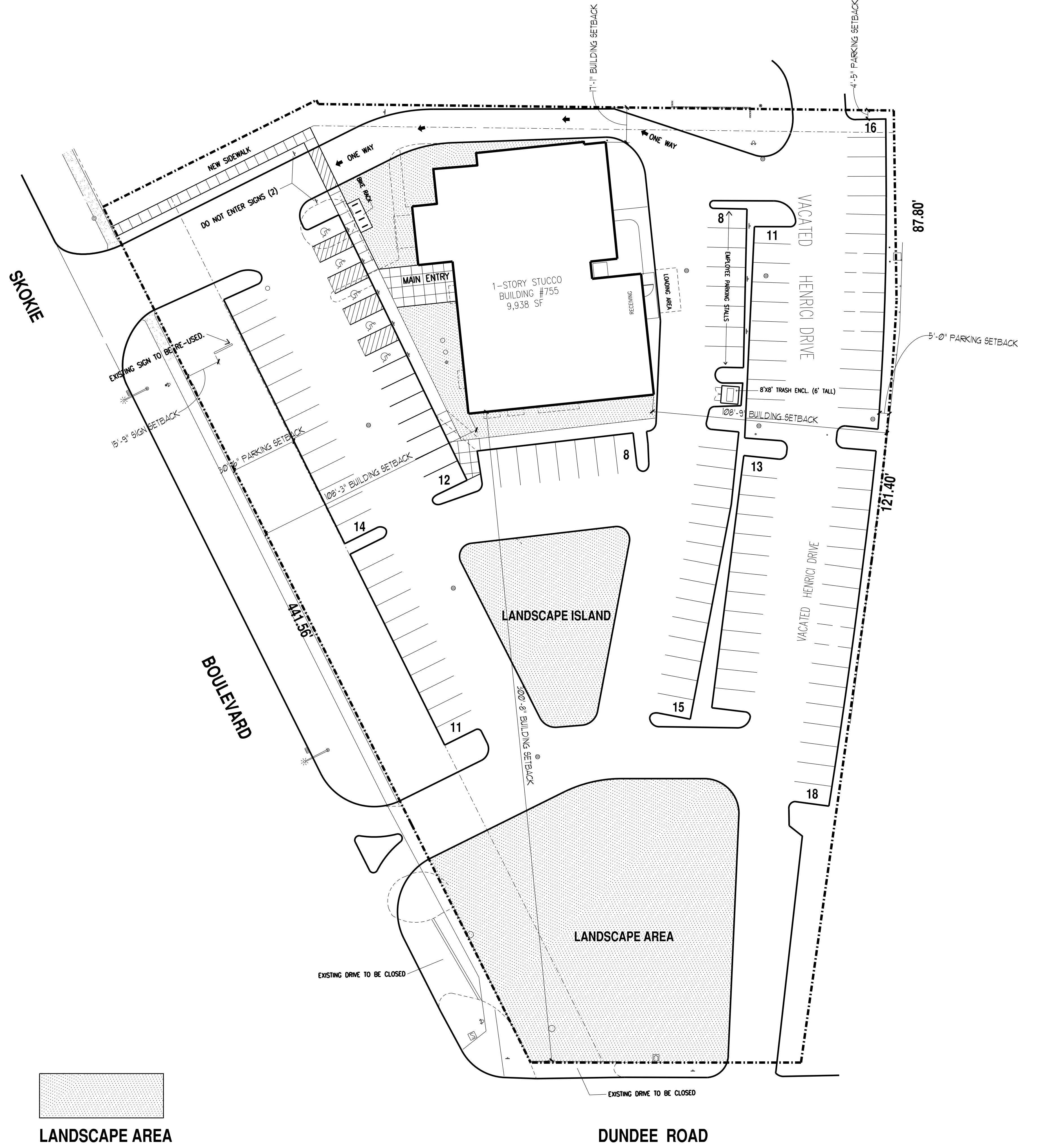
LOT 1 IN NORTY'S CONSOLIDATION, A CONSOLIDATION OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS AS DEPICTED ON THAT CERTAIN PLAT OF CONSOLIDATION RECORDED IN THE OFFICE OF THE COOK COUNTY RECORDER ON \_\_\_\_\_, 20\_\_\_\_ AS DOCUMENT NO. \_\_\_\_\_.

Commonly known as 430 Dundee Road and 755 Skokie Boulevard, Northbrook, Illinois

PINs: 04-02-424-030-0000  
04-02-424-030-0000  
04-02-424-030-0000

**EXHIBIT B**

**SITE PLAN**



## WHITE DATA TABLE

SITE DATA TABLE	
PROPOSED DEVELOPMENT	
LOT AREA	= APPROX. 113,368 SF
FLOOR AREA	= 9,938 SF
PARKING TOTAL	= 126 SPACES (INCL. 5 HC STALLS AND 8 EMPLOYEE STALLS)
PARKING RATIO	= 12.67 STALLS/1,000 SF OF BUILDING AREA

# CROSSROADS BROADWAY

I HEREBY CERTIFY  
THAT THIS PLAN AND  
SPECIFICATION WAS  
PREPARED BY ME OR  
UNDER MY DIRECT  
SUPERVISION AND  
THAT I AM A DULY  
REGISTERED  
ARCHITECT OR  
ENGINEER UNDER THE  
LAWS OF THE STATE OF  
ILLINOIS AS SIGNIFIED

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D. GREEN | ENGINEERING

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**EXHIBIT C**

**FLOOR PLAN**

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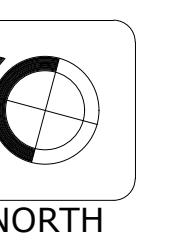
CAMBURAS &amp; THEODORE, LTD

ARCHITECTURE | ENGINEERING | INTERIORS  
2454 E. Dempster St. Suite 2001  
Des Plaines, IL 60016  
P (847) 298-1525  
www.camburasandtheodore.comTHESE DRAWINGS AND SPECIFICATIONS, AS  
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GREENHOUSE GROUP

755 SKOKIE BLVD.

NORTHBROOK, IL 60062



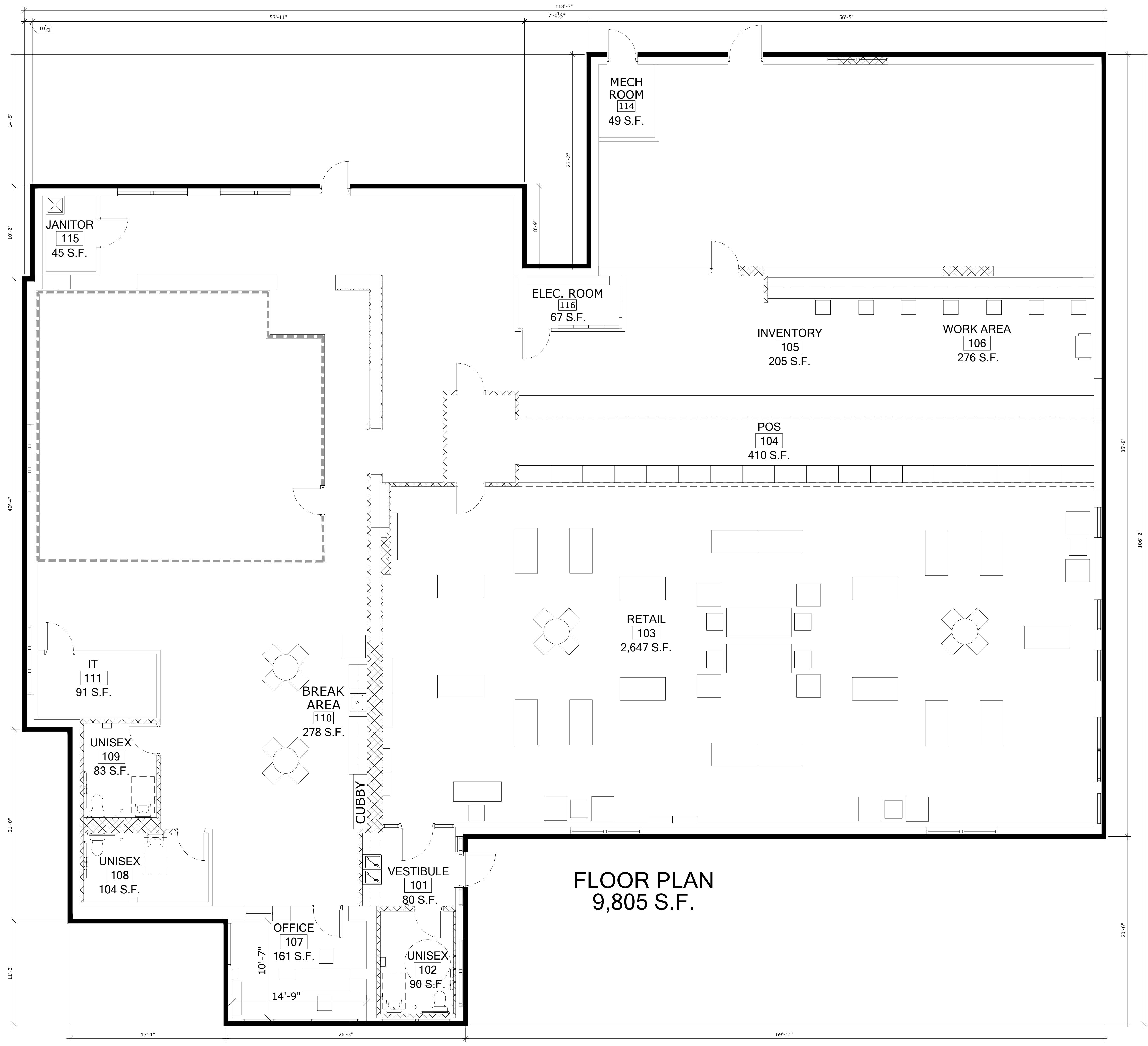
NORTH

FLOOR PLAN

SHEET NUMBER

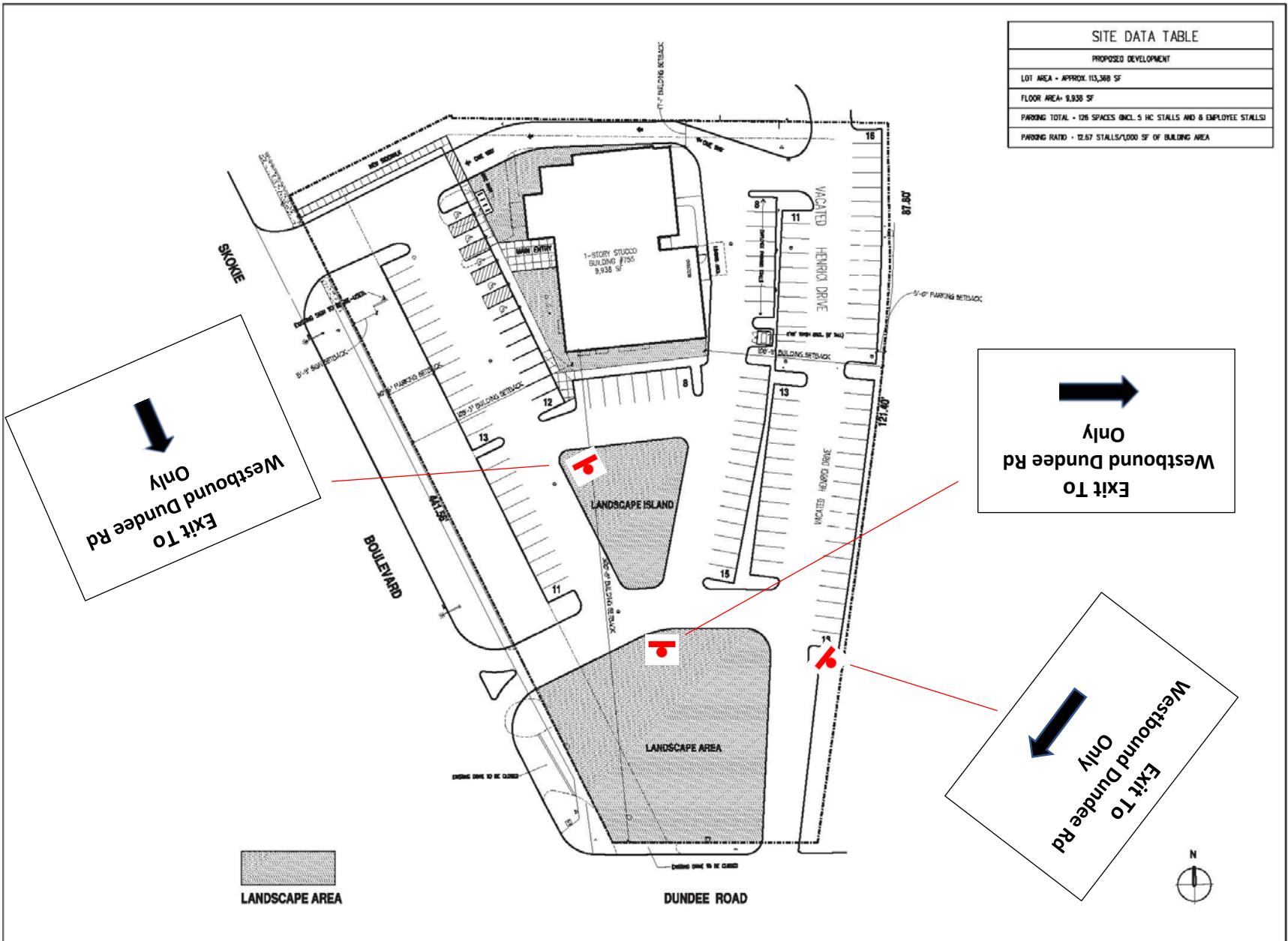
A-1

SCALE: 3/16" = 1'-0"

FLOOR PLAN  
9,805 S.F.

**EXHIBIT D**

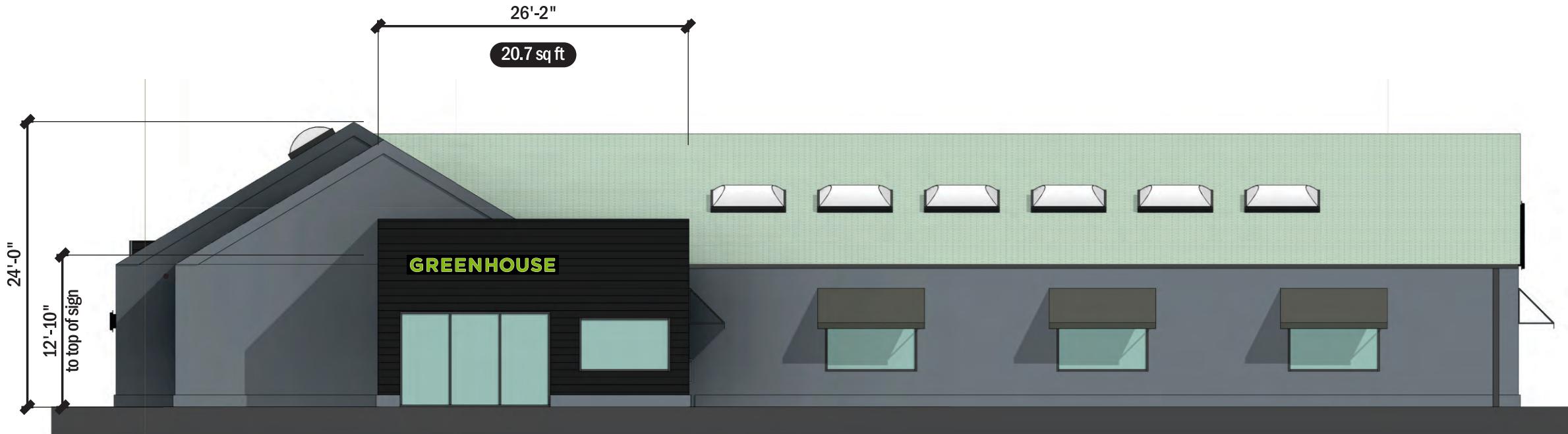
**TRAFFIC SIGN PLAN**



DRAWING TITLE: 301 N. PINE ST. B-1019		CROSSROADS BROADWAY	
SCALE: 1" = 25'-0"	STORY NO.: 0000000000	CAMBRIDGE THEODORE LTD.	
DRAWN BY: JB	PRODUCT NO.: 00000000	1000 N. BROAD ST., SUITE 1000, PHILADELPHIA, PA 19101 PHONE: 215.546.1000   FAX: 215.546.1010 E-MAIL: <a href="mailto:info@cambridge-theodore.com">info@cambridge-theodore.com</a>	
DATE: 8/6/2019	REVIEWER: JB	1000 N. BROAD ST., SUITE 1000, PHILADELPHIA, PA 19101 PHONE: 215.546.1000   FAX: 215.546.1010 E-MAIL: <a href="mailto:info@cambridge-theodore.com">info@cambridge-theodore.com</a>	REMARKS FOR VALUE REVIEW
		REV. NO.	DATE
		1	8/6/2019
		REVISIONS	

**EXHIBIT E**

**SIGN PLAN**



## Building Elevation - West

Scale: 3/32"=1'-0"

City allows: Square footage for wall signs is a maximum of 5% of the wall area to which the sign is affixed, or 100 s.f., whichever is less. Ground signs are a maximum of 100 s.f. Total sign s.f. on the entire property may not exceed 1 s.f. of signage per foot of frontage.



Design No.:

19-0170r12

Date:

October 08, 2019

Sheet:

1 of 8

Location:

755 Skokie Blvd.

City/State:

Northbrook IL 60062

Contact Information:

Salesman: Todd Hefner

Designer: Trent Schultz

P:817.625.4323 F:817.625.2123

[www.awningandsign.com](http://www.awningandsign.com)

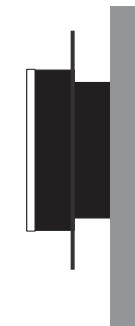
Revisions:

R1

This sign is intended to be installed in accordance with the requirements of article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of sign.

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12'-10"



20.7 sq ft

## Channel Letter Elevation

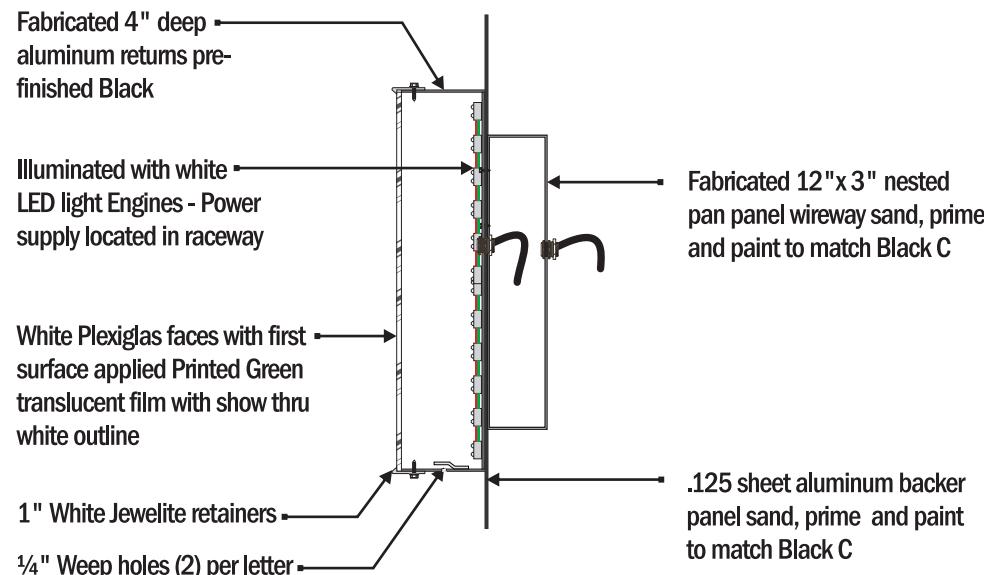
Scale: 3/4"=1'-0"

### GENERAL SPECIFICATIONS

5" deep Fabricated Aluminum Channels with White Acrylic faces and Trim Cap retainers.

### COLOR SPECIFICATIONS

Acrylic:  WHITE (faces) Trim Cap:  BLACK Paint:  BLACK (returns)



PMS Green 376 C  
CMYK 55/0/100/0  
RGB 133/189/76

PMS Neutral Black C  
CMYK 71/65/64/72  
RGB 34/34/34

## Channel Letter Section

Scale: N/A



Design No.:

19-0170r12

Date:

October 08, 2019

Sheet:

2 of 8

Location:

755 Skokie Blvd.

City/State:

Northbrook IL 60062

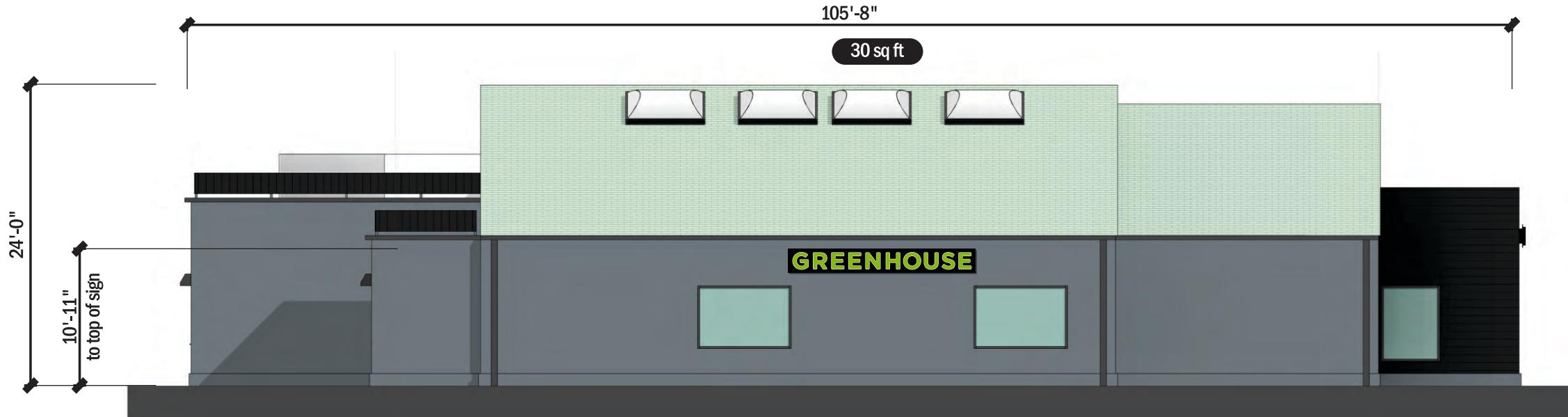
Contact Information:

Salesman: Todd Hefner  
Designer: Trent Schultz  
P.817.625.4323 F.817.625.2123  
www.awningandsign.com

Revisions:

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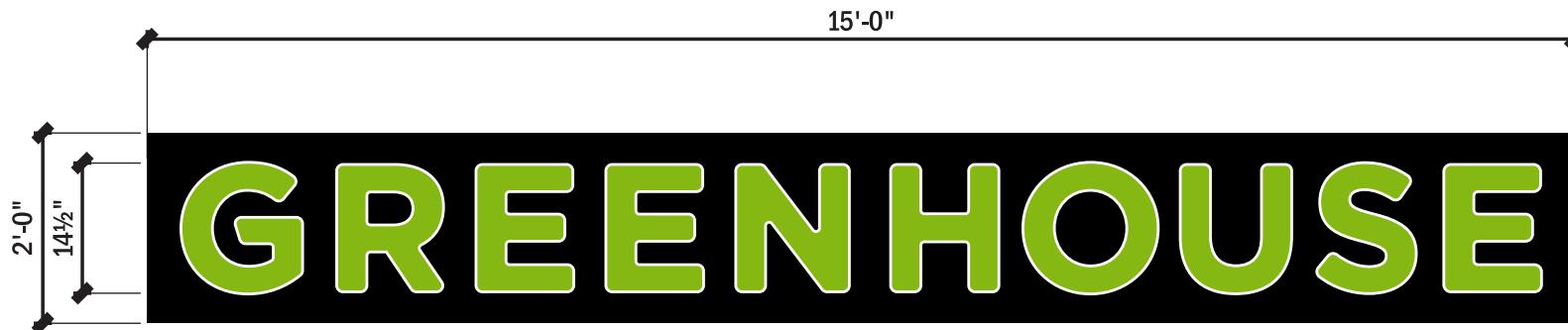
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## Building Elevation - North

Scale: 3/32"=1'-0"

City allows: Square footage for wall signs is a maximum of 5% of the wall area to which the sign is affixed, or 100 s.f., whichever is less. Ground signs are a maximum of 100 s.f. Total sign s.f. on the entire property may not exceed 1 s.f. of signage per foot of frontage.



30 sq ft

## Channel Letter Elevation

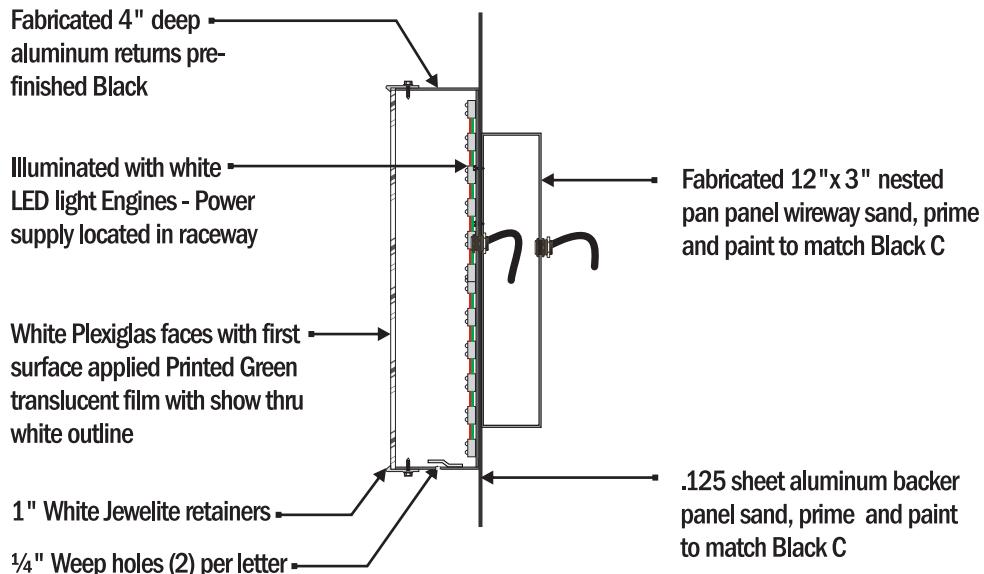
Scale: 1/2"=1'-0"

### GENERAL SPECIFICATIONS

5" deep Fabricated Aluminum Channels with White Acrylic faces and Trim Cap retainers.

### COLOR SPECIFICATIONS

Acrylic:  WHITE (faces) Trim Cap:  BLACK Paint:  BLACK (returns)



PMS Green 376 C  
CMYK 55/0/100/0  
RGB 133/189/76

PMS Neutral Black C  
CMYK 71/65/64/72  
RGB 34/34/34

## Channel Letter Section

Scale: N/A



Design No.:

19-0170r12

Date:

October 08, 2019

Sheet:

4 of 8

Location:

755 Skokie Blvd.

City/State:

Northbrook IL 60062

Contact Information:

Salesman: Todd Hefner  
Designer: Trent Schultz  
P:817.625.4323 F:817.625.2123  
www.awningandsign.com

Revisions:

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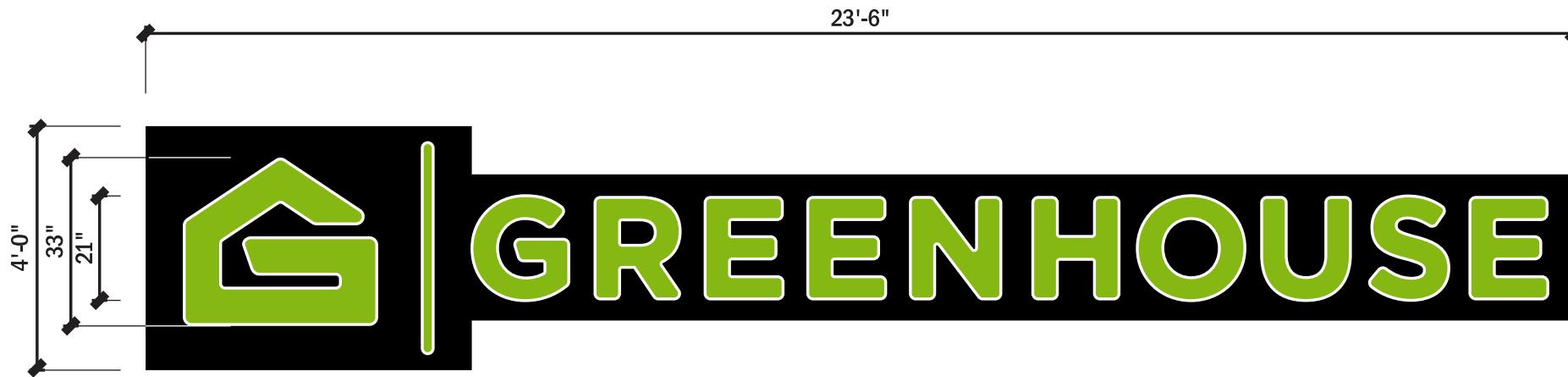
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## Building Elevation - South

Scale: 3/32"=1'-0"

City allows: Square footage for wall signs is a maximum of 5% of the wall area to which the sign is affixed, or 100 s.f., whichever is less. Ground signs are a maximum of 100 s.f. Total sign s.f. on the entire property may not exceed 1 s.f. of signage per foot of frontage.



## Channel Letter Elevation

Scale: 3/8"=1'-0"

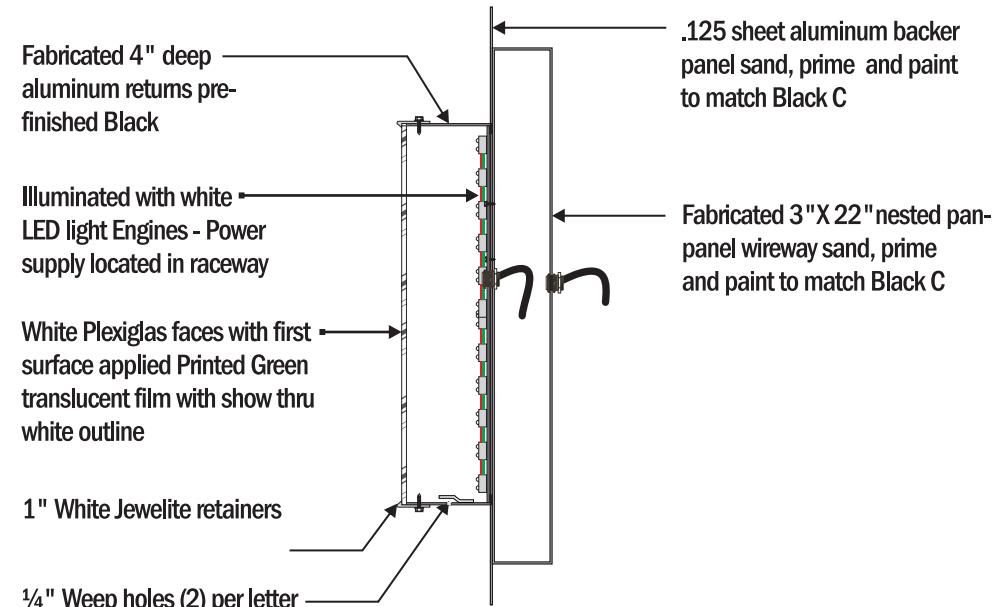
94 sq ft

### GENERAL SPECIFICATIONS

5" deep Fabricated Aluminum Channels with White Acrylic faces and Trim Cap retainers.

### COLOR SPECIFICATIONS

Acrylic:  WHITE (faces) Trim Cap:  BLACK Paint:  BLACK (returns)



ALL ELECTRICAL EQUIPMENT TO BE U.L. LISTED  
AND MARKED PER N.E.C. 250-1  
ALL POWER SUPPLIES TO BE FUSED PER N.E.C. 250-21  
GROUNDED PER N.E.C. 250-40, 250-42, 250-44-96  
SIGN TO MEET N.E.C. AND U.L. 48  
STANDARDS FOR ELECTRICAL SIGNS  
GROUNDING & BONDING  
AS PER N.E.C. 250-98 & NEC 800-7

PMS Green 376 C  
CMYK 55/0/100/0  
RGB 133/189/76

PMS Neutral Black C  
CMYK 71/65/64/72  
RGB 34/34/34

## Channel Letter Section

Scale: N/A

Design No.:

19-0170r12

Date:

October 08, 2019

Sheet:

6 of 8

Location:

755 Skokie Blvd.

City/State:

Northbrook IL 60062

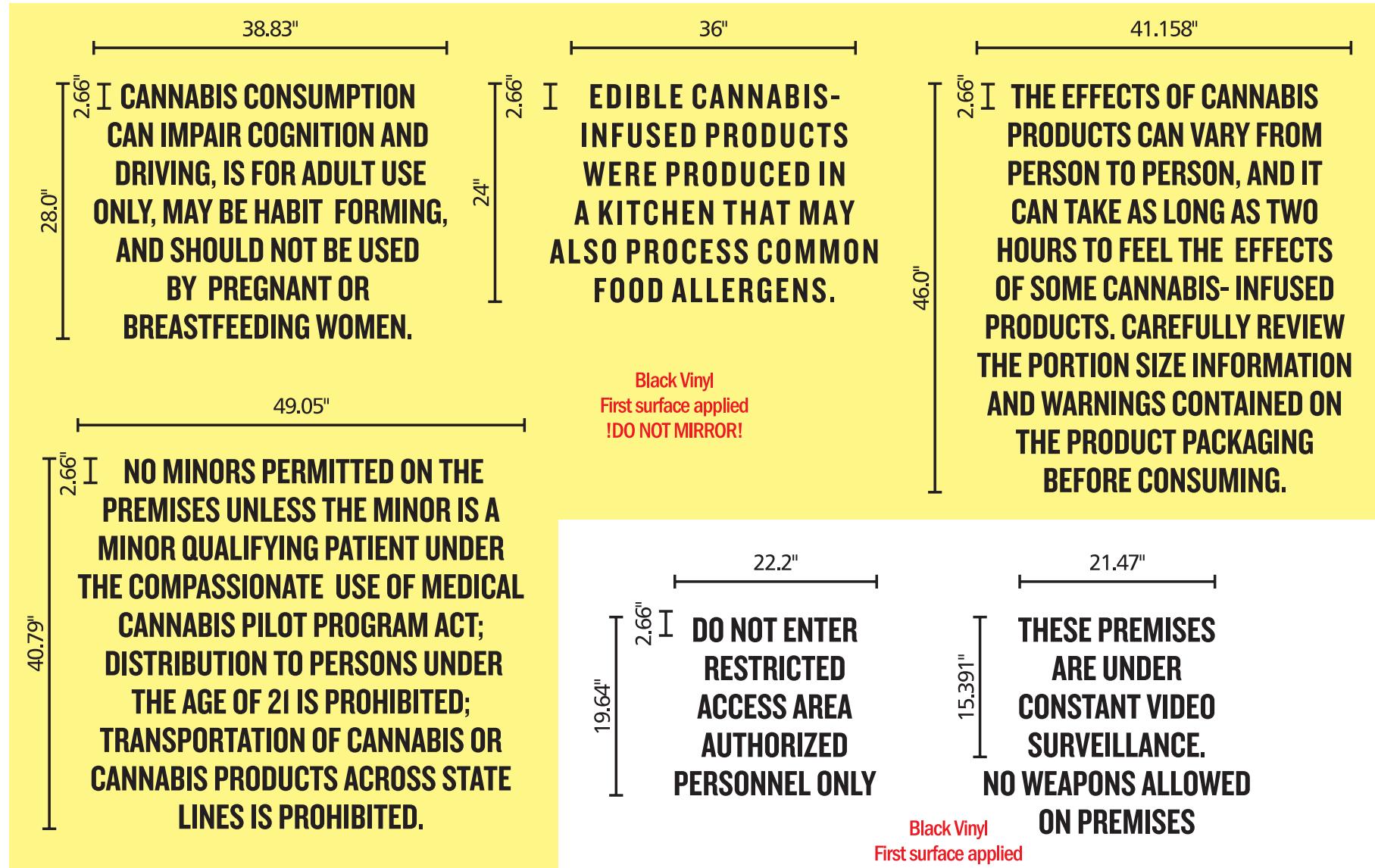
Contact Information:

Salesman: Todd Hefner  
Designer: Trent Schultz  
P.817.625.4323 F.817.625.2123  
www.awningandsign.com

Revisions:

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## Window and Door Graphics

State Law: All of the required signage in this subsection (B) shall be no smaller than 24 inches tall by 36 inches wide, with typed letters no smaller than 2 inches. The signage shall be clearly visible and readable by customers. The signage shall be placed in the area where cannabis and cannabis-infused products are sold and may be translated into additional languages as needed. The Department may require a dispensary to display the required signage in a different language, other than English, if the Secretary deems it necessary.



Design No.:

19-0170r12

Contact Information:

Date: October 08, 2019  
Sheet: 7 of 8  
Location: 755 Skokie Blvd.  
City/State: Northbrook IL 60062

Salesman: Todd Hefner  
Designer: Trent Schultz  
P:817.625.4323 F:817.625.2123  
www.awningandsign.com

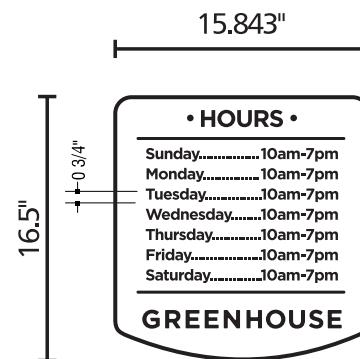
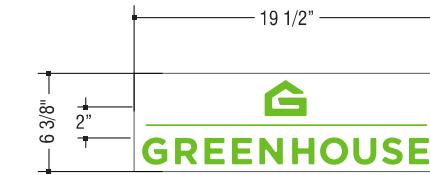
Revisions:

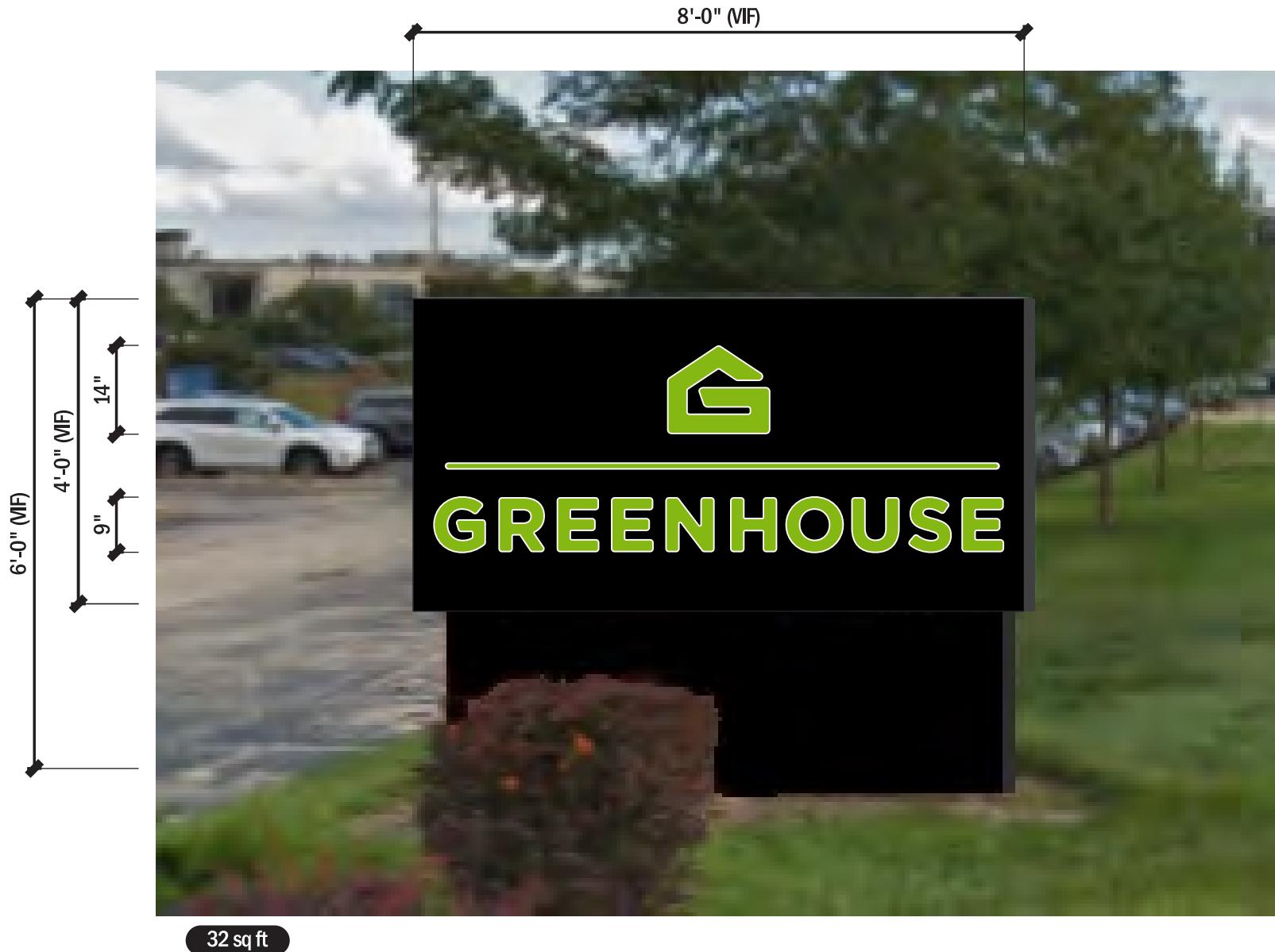
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Scale: 3/4"=1'-0"

Scale: 1"=1'-0"





8'-0" (MF)

6'-0" (MF)

4'-0" (MF)

14"

9"

32 sq ft

Existing filler retainers and supports  
repaint PMS Natural Black C

.125" sheet aluminum routed face &  
filler sand, prime and paint to match  
PMS Natural Black C

Copy to be 3/4"Push thru White Plexiglas  
faces with first surface applied Printed  
Green translucent film with show thru  
white outline

PMS Green 376 C  
CMYK 55/0/100/0

PMS Neutral Black C  
CMYK 71/65/64/72  
RGB 34/34/34

## Monument Elevation - Replacement faces

Scale: 1/2"=1'-0"

## Placement

Design No.:

19-0170r12

Date:

October 08, 2019

Sheet:

8 of 8

Location:

755 Skokie Blvd.

City/State:

Northbrook IL 60062

Contact Information:

Salesman: Todd Hefner

Designer: Trent Schultz

P.817.625.4323 F.817.625.2123

[www.awningandsign.com](http://www.awningandsign.com)

Revisions:

R1

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## EXHIBIT F

### **UNCONDITIONAL AGREEMENT AND CONSENT OF APPLICANT AND OWNER**

TO: The Village of Northbrook, Illinois ("*Village*"):

**WHEREAS**, Greenhouse Group, LLC ("*Applicant*") is the prospective lessee of the parcels of real property commonly known as 430 Dundee Road and 755 Skokie Boulevard (collectively, the "*Property*") which is owned by Crossroads Broadway, LLC ("*Owner*") and proposes to operate an adult-use cannabis dispensary ("*Dispensary*") on the Property; and

**WHEREAS**, the Applicant has requested relief from the Village of Northbrook's Zoning Code (1988), as amended, allow the Dispensary to operate on the Property by special permit. The Applicant proposes to renovate an existing one story building on the Property to operate the Dispensary; and

**WHEREAS**, in addition to the required special use, the Applicant has requested variations from the requirements of the Northbrook Zoning Code (1988), as amended ("*Zoning Code*"), to (x) reduce the required interior north yard to accommodate the existing parking lot on the Property; and (y) reduce the required number of loading spaces on the Property from one to zero (collectively, the "*Requested Relief*"; and

**WHEREAS**, Ordinance No. 19-\_\_\_\_, adopted by the President and Board of Trustees of the Village of Northbrook on \_\_\_\_\_, 2019 ("*Ordinance*"), grants approval of the Requested Relief subject to certain conditions, for the benefit of Applicant and Owner; and

**WHEREAS**, Applicant and Owner desire to evidence to the Village their unconditional agreement and consent to accept and abide by each of the terms, conditions, and limitations set forth in said Ordinance, and the Owner desires to evidence its consent to recording the Ordinance against the Property;

**NOW, THEREFORE**, Applicant and the Owner do hereby agree and covenant as follows:

1. Applicant and Owner shall, and does hereby unconditionally agree to, accept, consent to and abide by all of the terms, conditions, restrictions, and provisions of that certain Ordinance No. 19-\_\_\_\_, adopted by the Village Board of Trustees on \_\_\_\_\_, 2019.
2. Applicant and Owner acknowledge and agree that the Village is not and shall not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's review and approval of any plans for the Property, or the issuance of any permits for the use and development of the Property, and that the Village's review and approval of any such plans and issuance of any such permits does not, and shall not, in any way, be deemed to insure Applicant and Owner against damage or injury of any kind and at any time.
3. Applicant and Owner acknowledge that the public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural

infirmity or any denial of any procedural right, provided that the notice to Applicant and Owner required by Section 7 of the Ordinance is given.

4. Applicant and Owner agree to and do hereby hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with (a) the Village's review and approval of any plans and issuance of any permits, (b) the procedures followed in connection with the adoption of the Ordinance, (c) the development, construction, maintenance, and use of the Property, and (d) the performance by Applicant and Owner of their obligations under this Unconditional Consent and Agreement.
5. Applicant and Owner shall, and do hereby agree to, pay all expenses incurred by the Village in defending itself with regard to any and all of the claims mentioned in this Unconditional Consent and Agreement. These expenses shall include all out-of-pocket expenses, such as attorneys' and experts' fees, and shall also include the reasonable value of any services rendered by any employees of the Village.
6. Owner warrants and represents to the Village that it owns fee simple title to the Property and consents to the recording of the Ordinance against the Property.

**GREENHOUSE GROUP, LLC**, an Illinois limited liability company

By: \_\_\_\_\_

Signature

By: \_\_\_\_\_

Print

Its: \_\_\_\_\_

**SUBSCRIBED and SWORN to**  
before me this \_\_\_\_\_ day of  
\_\_\_\_\_, 2019.

\_\_\_\_\_  
Notary Public

[SIGNATURES CONTINUE ON NEXT PAGE]

**CROSSROADS BROADWAY, LLC**, an  
Illinois limited liability company

By: \_\_\_\_\_

Signature

By: \_\_\_\_\_

Print

Its: \_\_\_\_\_

**SUBSCRIBED** and **SWORN** to  
before me this \_\_\_\_\_ day of  
\_\_\_\_\_, 2019.

\_\_\_\_\_  
Notary Public