



LEAD WATER SERVICE LINE REPLACEMENT COST SHARING PROGRAM

The Village Board approved Resolution 2023-67 which created a policy on Lead Water Service Line Replacement Cost Sharing Program for home owners in the Village of Northbrook. The intention of this program is to assist and incentivize homeowners to replace their lead service lines in an effort to eliminate all lead water service lines in the Village of Northbrook. *This program is completely voluntary.*

HOW IS PARTICIPATION DETERMINED?

Participation is voluntary and is available to all residential properties with an existing lead water service line. Based upon contact initiated by the resident, the Department of Public Works will provide instructions and an application form for pre-approval of the reimbursement amount. Residents who wish to participate in the Lead Water Service Line Replacement Cost Sharing Program should fill out and submit the attached application form prior to submitting for a building permit. Any alterations needed to obtain the required building permit should be rereviewed by Public Works for funding impacts prior to construction. Please review the Lead Water Service Line Replacement Cost Share Program Standard Operating Procedure # 81-054-00.

WHO PAYS TO REPLACE THE LEAD WATER SERVICE?

Under the Program, the Village will reimburse 100% of the cost to replace the lead service line from the water main to the water shut off valve (b-box) typically located in the parkway, including pavement and parkway restoration. The Village will contribute 50% up to a \$5,000 maximum reimbursement for the portion of the water service from the (b-box) to the water meter. The Village will reimburse the homeowner after the work is completed. All permit and inspection fees will be waived by the Village in addition to the reimbursement cap of \$5,000.

WHO PERFORMS THE WORK?

The work is to be performed by a plumbing contractor and sub-contractors (if required), selected by the homeowner. The contractor and sub-contractors must be licensed and bonded to work in the Village of Northbrook. The contractor is required to restore all disturbances within the Village right-of-way to the pre-construction condition on public property, including sidewalk removal and replacement, curb and gutter replacement, pavement removal and replacement, and all restoration, as required to complete the project. *The plumbing contractor and sub-contractors is strongly recommended to review the construction details to understand the requirements for site restoration within the right-of-way.* To qualify for the proposal the property owner is required to obtain a minimum of three proposals.

WHO SHOULD I CONTACT IF I HAVE ANY QUESTIONS?

The Department of Public Works can answer any questions about the program. Please call us at 847-272-4711 between the hours of 7:00 a.m. to 3:00 p.m., Monday through Friday.

**VILLAGE OF NORTHBROOK
PUBLIC WORKS DEPARTMENT
655 HUEHL ROAD
NORTHBROOK, IL 60062
PH. # (847) 272-4711**

**LEAD SERVICE LINE REPLACEMENT
COST SHARE PROGRAM APPLICATION**

TO BE FILLED OUT BY APPLICANT

I HAVE READ AND UNDERSTAND THE APPLICABLE S.O.P: _____ (Initials)

APPLICATION DATE: _____ E-MAIL: _____

OWNER NAME: _____ PHONE: _____

ADDRESS: _____

DESCRIPTION OF WORK:

PARKWAY TREE(S) YES NO

EXCAVATION WORK WITHIN SERVICE

LINE? YES NO

IF YES, APPLICANT MUST CONTACT THE VILLAGE FORESTER AT 847-272-4711. FAILURE TO DO SO AND ANY DAMAGE TO A PARKWAY TREE MAY JEOPARDIZE RECEIVING REIMBURSEMENT FUNDS.

PRIVATE TREE(S) YES NO

EXCAVATION WORK WITHIN SERVICE LINE?

YES NO

IF YES, CONTACT THE VILLAGE TREE PRESERVATION OFFICER AT 847- 272-4711.

Note: The property owner must be a Village water utility consumer to be eligible for this program. Work must be completed within 90 calendar days from notification of Village approval to remain eligible for cost reimbursement.

Disclosure: I hereby attest that I am the owner or legal agent of this property. This application and attached documents are true and accurate and represent only direct cost work associated with this program to the best of my knowledge. Further, I agree the Village has the sole discretion to determine all monies to be reimbursed. Also, I understand that the Village shall have no present or future liability or responsibility for the system installed by this program; malfunctions, maintenance or other problems that may occur are my sole responsibility. My signature below indicates that I accept these terms.

OWNER'S SIGNATURE: _____

TO BE FILLED OUT BY PUBLIC WORKS STAFF

3 CONTRACTOR BIDS RECEIVED YES NO

NAME OF LOW BID CONTRACTOR: _____ \$ _____

PLAN APPROVAL TREE APPROVAL INSTALLATION INSPECTION: APPROVAL FOR PAYMENT:

By: _____ By: _____ By: _____ By: _____

Date: _____ Date: _____ Date: _____ Date: _____

RECEIPT OF CONTRACTOR'S FINAL WAIVERS OF LIEN: YES DATE: _____

APPLICATION INSTRUCTIONS

STEP 1: Submit documents confirming the existing water service entering the building foundation is a lead water service in order to confirm eligibility for the Cost-share program.

STEP 2: Complete a Lead Water Service Cost Share Program Application with a minimum of three plumbing estimates which detail the scope of work for Staff review.

Submit the application, proposals, and forms to the Village of Northbrook's Public Works Department at 655 Huehl Road.

STEP 3: After being deemed eligible, hire a plumber. A water service upgrade permit will be required to be submitted through the Development & Planning Services Department (DPS), (a copy of this permit application can be found here: <https://www.northbrook.il.us/672/Water-Service-Upgrade>). The permit application and drawings will be reviewed by the DPS and will either be approved as noted or returned for revisions. When the application and drawings receive approval, the permit will be issued and the plumber can start the work.

STEP 4: The plumber needs to contact DPS to schedule normal inspections during the course of work and at completion for a final inspection.

STEP 5: After the work has been inspected and approved, the homeowner must pay the full amount to the plumber and then submit the following to the Public Works Department to get reimbursed:

- A copy of all Final Waivers of Lien from the plumber and sub-contractors who did the work.

Upon completion of the work and approval of a final inspection by the Village, the applicant will pay the total cost of the water service improvements. The Village shall reimburse property owners as outlined in the Lead Water Service Line Replacement Cost Share Program Standard Operating Procedure # 81-054-00.

- Installation of a new water service on the private portion - maximum of \$5,000.

STEP 6: "WAIT" – The homeowner will receive the Village's reimbursement check in the mail approximately four (4) - six (6) weeks after all of the required paperwork is submitted to the Public Works Department.

CONTRACTOR BID PROPOSAL
UNIT PRICES FOR LEAD WATER SERVICE REPLACEMENT
WITHIN AND OUTSIDE THE VILLAGE RIGHT-OF-WAY

<u>LEAD WATER SERVICE REPLACEMENT WITHIN VILLAGE RIGHT-OF-WAY (Water Main to B-box)</u>				
Village to pay 100%				
	Description	Units	Unit Price	Extension
1.	Lead Water Service Removal & Replacement*	1	EA.	\$
2.	Restoration of Village right-of-way*	1	L. Sum	\$
	Total			\$

* =INCLUDE THE FOLLOWING IN DETERMINING THE UNIT BID PRICE, *BUT IS NOT LIMITED TO THE FOLLOWING:*

1. PROPOSED WATER LINE PIPING FROM THE NEW TAP AT THE VILLAGE WATER MAIN TO THE NEW B-BOX.
2. COMPLETE DISCONNECTION OF THE OLD SERVICE FROM THE CORPORATION STOP ON THE MAIN, REMOVAL OF THE OLD B-BOX AND CURB STOP.
3. WATER SERVICE SIZE (1-1/2-inch minimum required), MATERIAL OF PROPOSED WATER LINE, ALL APPURTEANCES AND METHODS NECESSARY FOR INSTALLATION.
4. PROPOSED SIDEWALK, CURB & GUTTER AND PAVEMENT REMOVAL (36 s.f. maximum), AND REPLACEMENT.
5. EXISTING PAVEMENT, DRIVEWAY (if applicable), PARKWAY RESTORATION, SIDEWALK, AND CURB & GUTTER.

<u>LEAD WATER SERVICE REPLACEMENT WITHIN PRIVATE PROPERTY LIMITS (B-box to House)</u>				
Cost Share - Village to pay up to \$5,000 maximum				
	Description	Units	Unit Price	Extension
1.	Lead Water Service Removal & Replacement●	1	EA.	\$
2.	Restoration of private property (Incidental to contract) ●	1	L. Sum	\$
	Total			\$

● =INCLUDE THE FOLLOWING IN DETERMINING THE UNIT BID PRICE, *BUT IS NOT LIMITED TO THE FOLLOWING:*

1. PROPOSED WATER LINE PIPING FROM THE NEW B-BOX TO THE EXISTING WATER METER IN THE HOUSE.
2. WATER SERVICE SIZE (1-inch minimum or larger based on current fixture count) AND MATERIAL OF PROPOSED WATER LINE MATERIAL, ALL APPURTEANCES AND METHODS NECESSARY FOR INSTALLATION.
4. PROPOSED SIDEWALK, LANDSCAPING, AND PRIVATE DRIVEWAY REMOVAL AND REPLACEMENT.
5. HOUSE AND ACCESSORY STRUCTURES.

WATER SERVICE GENERAL NOTES

A COPY OF THE PERMIT MUST BE ON-SITE AT ALL TIMES.

1. ALL REQUIRED SITE ENGINEERING WORK ASSOCIATED WITH THIS PERMIT WILL ADHERE TO THE VILLAGE OF NORTHBROOK'S ENGINEERING STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO SCHEDULE ALL REQUIRED INSPECTIONS THROUGH THE DEPARTMENT OF DEVELOPMENT AND PLANNING SERVICES (847-664-4050).
3. CONTACT J.U.L.I.E. AT 1-800-892-0123 BEFORE EXCAVATING.
4. ANY EXCAVATED SOIL/MATERIALS NOT TO BE USED FOR BACKFILL WILL BE IMMEDIATELY REMOVED FROM THE SITE. NO ON-SITE STOCKPILING OF EXCAVATED MATERIALS WILL BE ALLOWED, WITH THE EXCEPTION OF TOPSOIL FOR FINAL GRADING PURPOSES.
5. NO ALTERATION OF THE EXISTING GROUND ELEVATIONS SHALL BE PERFORMED IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND ENSURE THAT ALL TRIBUTARY AREAS FROM ADJACENT LOTS WILL CONTINUE TO DRAIN INTO THE SUBJECT SITE.
6. ALL DISTURBED PARKWAY LAWN AREAS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE RESTORED WITH 6" OF PULVERIZED TOPSOIL & SOD WITHIN FIVE (5) CALENDAR DAYS OF DISTURBANCE, WEATHER PERMITTING. ALL SOD MUST BE WATERED AS REQUIRED TO SUSTAIN GROWTH.
7. THE NEW WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE ATTACHED VILLAGE STANDARD WATER SERVICE DETAIL. THE CURB STOP MUST BE LOCATED IN VILLAGE RIGHT-OF-WAY.
8. A NEW WATER SERVICE TAP IS REQUIRED (REPLACING AN EXISTING WATER SERVICE FOR DRINKING FOUNTAIN) THE OLD WATER SERVICE MUST BE DISCONNECTED AT THE WATER MAIN, EXAMINED, AND APPROVED BY A VILLAGE INSPECTOR BEFORE THE PUBLIC WORKS DEPARTMENT WILL CONDUCT THE TAPPING SERVICE FOR THE NEW WATER LINE. TO PERMANENTLY DISCONNECT THE OLD SERVICE, THE CONTRACTOR MUST SHUT OFF AND DISCONNECT THE OLD SERVICE LINE AT THE CORP "CORPORATION STOP" AND INSTALL A COPPER CAP ON THE CORPORATION. THE CONTRACTOR WILL SUPPLY AND INSTALL PROPER SHORING WITHIN THE EXCAVATION SITE AND PROVIDE A SAFE WORK ENVIRONMENT. THE VILLAGE WILL BE TAPPING THE WATER MAIN IN THE 10 O'CLOCK POSITION. NOTE THE CONTRACTOR WILL NEED TO BEND THE COPPER WATER SERVICE LINE TO FORM A "MURPHY'S" BEND AT THE CONNECTION TO THE CORPORATION STOP. (IF YOU ARE STANDING AT THE ROUND WAY/BUFFALO BOX AND LOOKING TOWARDS THE WATER MAIN/CORP, THE COPPER SERVICE LINE WILL RESEMBLE A 7 QUESTION MARK). THE VILLAGE WILL NOT DRILL FOR THE NEW TAP ANY CLOSER THAN 2FT TO A WATER MAIN BELL/HUB OR ANY OTHER EXISTING CORPORATION(S); ACTIVE OR INACTIVE. A MINIMUM OF 16" OF WATER MAIN MUST BE CLEANED AND SCRAPED AT THE NEW TAP LOCATION. CONTRACTOR IS TO SUPPLY THE WOOD BLOCKING FOR SUPPORT AT THE CORPORATION 90.

NOTE THE VILLAGE WILL BE SUPPLYING THE FOLLOWING ITEMS:

TAPPING SLEEVE OR SADDLE

CORPORATION STOP WITH FLARED "Y" BEND CONNECTION

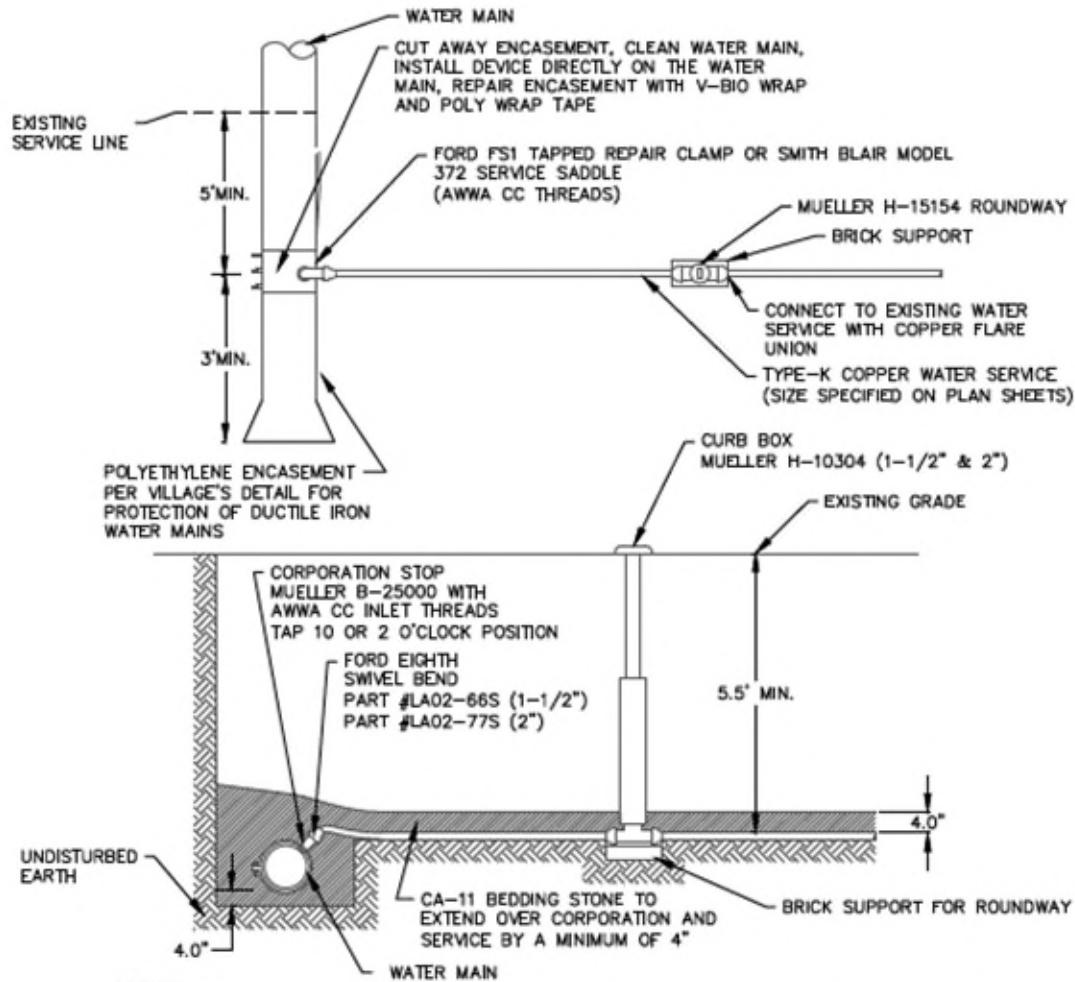
ROUND WAY VALVE WITH STRAIGHT FLARED NUTS

CURB BOX (B-BOX)

9. IEPA GUIDELINES: WHENEVER A SEWER CROSSSES A WATER MAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN SHALL BE EIGHTEEN (18) INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF TEN (10) FEET BETWEEN SANITARY & STORM AND WATER SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM EIGHTEEN (18) INCH SEPARATION; OR THE IS LAID IN THE SAME TRENCH WILL THE WATER MAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM EIGHTEEN (18) INCH VERTICAL SEPARATION. IF EITHER THE VERTICAL

OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THEN THE SEWER SHALL BE PVC DR 25 (BLUE BRUTE), DUCTILE IRON OR EQUIVALENT FOR TEN (10) FEET EACH SIDE OF A CROSSING OR THE ENTIRE LENGTH OF PIPE WHEN RUNNING PARALLEL.

10. ALL OPEN EXCAVATIONS WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE WATER JETTED PRIOR TO FINAL RESTORATION.
11. IF ANY EXISTING UTILITY SERVICE IS TO BE ABANDONED, IT MUST BE REMOVED AND PLUGGED AT THE MAIN.
12. THE CONTRACTOR WILL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT (PHONE NUMBER: 847-272-4711) TO INSTALL A REMOTE READING DEVICE FOR THE NEW WATER METER (IF APPLICABLE).
13. ANY EXISTING BROKEN OR CRACKED SIDEWALK SQUARES AND/OR DAMAGED SIDEWALK RESULTING FROM THE PROPOSED IMPROVEMENTS MUST BE REMOVED AND REPLACED TO THE SATISFACTION OF THE VILLAGE PUBLIC IMPROVEMENT INSPECTOR. THE SIDEWALK SHALL BE COMPRISED OF FIVE-INCHES OF CLASS SI CONCRETE, SIX-INCHES THROUGH DRIVEWAYS, OVER A THREE-INCH COMPACTED CA-6 STONE BASE. ALL PUBLIC OR PRIVATE SIDEWALK MUST HAVE A MAXIMUM CROSS-SLOPE OF 1.5%. THE SIDEWALK SHOULD DRAIN AT $\frac{1}{4}$ " PER FOOT TOWARD THE ROADWAY.
14. THE OWNER MUST PROVIDE WRITTEN NOTICE (WITH CONTACT PERSON'S NAME, ADDRESS & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGE WILL BE DISTURBED TO PERFORM ANY REQUIRED OFF-SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. IN ADDITION, THE NOTIFICATION MUST STATE THE STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN: PUBLIC IMPROVEMENTS INSPECTOR, ONE WEEK BEFORE THE WORK IS TO BE PERFORMED.
15. UTILITY SERVICES SHALL BE AS FOLLOWS:
WATER - 1-1/2 INCH TYPE "K" COPPER- WITHIN VILLAGE RIGHT-OF-WAY, MINIMUM SIZE ON PRIVATE PROPERTY IS 1-INCH.
16. THE DISCHARGE FROM THE DOWNSPOUTS SHALL SPLASH ON GRADE, DIRECTED TO THE FRONT OR REAR OF THE BUILDING AND NOT EXTEND MORE THAN 9 FEET FROM THE BUILDING FOUNDATION. DOWNSPOUTS ARE NOT PERMITTED TO BE CONNECTED TO THE PRIVATE STORM SEWER SERVICE. ANY VARIATION OF THESE TWO ITEMS IS A MUNICIPAL CODE VIOLATION (IF APPLICABLE).
17. A MANDATORY FIELD MEETING MUST BE HELD WITH THE APPLICANT'S GENERAL CONTRACTOR AND UNDERGROUND UTILITY CONTRACTOR ON SITE PRIOR TO THE START OF CONSTRUCTION WITH NORTHBROOK'S TREE PRESERVATION OFFICER (847-272-4711) TO DISCUSS TREE PROTECTION MEASURES, TREE ROOT PRUNING AND OTHER NECESSARY CONSTRUCTION REQUIREMENTS.
18. THE UTILITY SERVICE LOCATION IS TO BE SELECTED TO AVOID CONFLICTS WITH EXISTING TREES AND SURFACE FEATURES. IF THERE IS AN EXISTING TREE WITHIN THE CLOSE PROXIMITY OF THE PROPOSED UTILITY SERVICE, CONTACT THE VILLAGE FORESTER (847-272-4711) WITHIN THE VILLAGE RIGHT-OF-WAY AND THE TREE PRESERVATION OFFICER FOR PRIVATE PROPERTY TREES IN ORDER TO INCORPORATE ANY TREE PRESERVATION MEASURES THAT MAY BE DEEMED NECESSARY.
19. THE CONTRACTOR WILL PROVIDE TREE PROTECTION IN ACCORDANCE WITH THE APPROVED TREE PRESERVATION PLAN AND TREE PROTECTION DETAIL FOR ALL PARKWAY, FRONT YARD AND ANY LANDMARK TREES ON THE SUBJECT LOT THAT WILL BE WITHIN THE LIMITS OF THE PROPOSED WORK, ACCESS TO THE SITE, STORAGE OF MATERIAL, ETC.... VISIT THE VILLAGE OF NORTHBROOK WEBSITE TO ACCESS THE CONSTRUCTION DETAILS AT WWW.NORTHBROOK.IL.US
20. TREE ROOT PRUNING WILL BE PERFORMED PRIOR TO ANY TRENCHING OR EXCAVATING. FAILURE TO PERFORM WILL RESULT IN PENALTIES.



NOTES:

1. WATER SERVICE TAPS ON VILLAGE OWNED WATER MAIN MUST BE MADE THROUGH A TAPPING DEVICE AS SPECIFIED ABOVE UNLESS OTHERWISE DIRECTED BY VILLAGE STAFF.
2. ALL TREE ROOTS CONFLICTING WITH THE PROPOSED WATER SERVICE INSTALLATION MUST BE ROOT PRUNED WITH A VERMEER V2050, OR APPROVED EQUAL "WALK BEHIND" ROOT PRUNING MACHINE TO A MINIMUM DEPTH OF 16 INCHES PRIOR TO ANY EXCAVATION. THE WATER SERVICE MUST BE RELOCATED ACCORDINGLY IF STAFF DETERMINES THAT EXCAVATION WILL THREATEN THE HEALTH OF EXISTING TREES.
3. REFER TO STANDARD W-15 FOR TRACER WIRE DETAIL FOR PVC WATER MAIN
4. CONTRACTOR IS TO SCHEDULE AN INSPECTION FOR EACH SERVICE CONNECTION WITH RESIDENT ENGINEER PRIOR TO BACKFILLING
5. BACKFILL TO BE PLACED IN 8" LOOSE LIFTS AND COMPAKTED WITH A MECHANICAL COMPACTOR AND IS SUBJECT TO THE APPROVAL OF THE VILLAGE ENGINEER

WATER SERVICE DETAIL

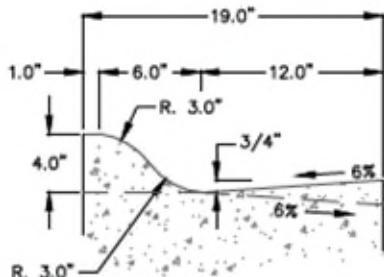
Village of Northbrook
Public Works Department

DATE	REVISIONS
1-9-19	Revised Notes
4-1-21	Revised Notes, Edited Picture
5-1-23	Revised Notes

STANDARD DETAIL
W-4 (03)

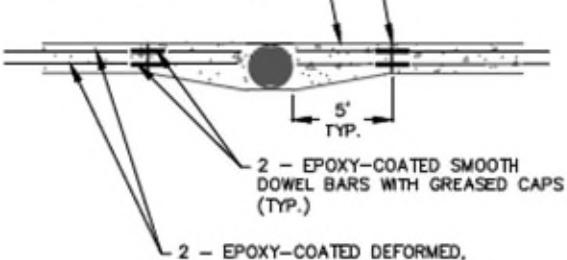
(Sheet 1 of 1)

TYPE M-4.12



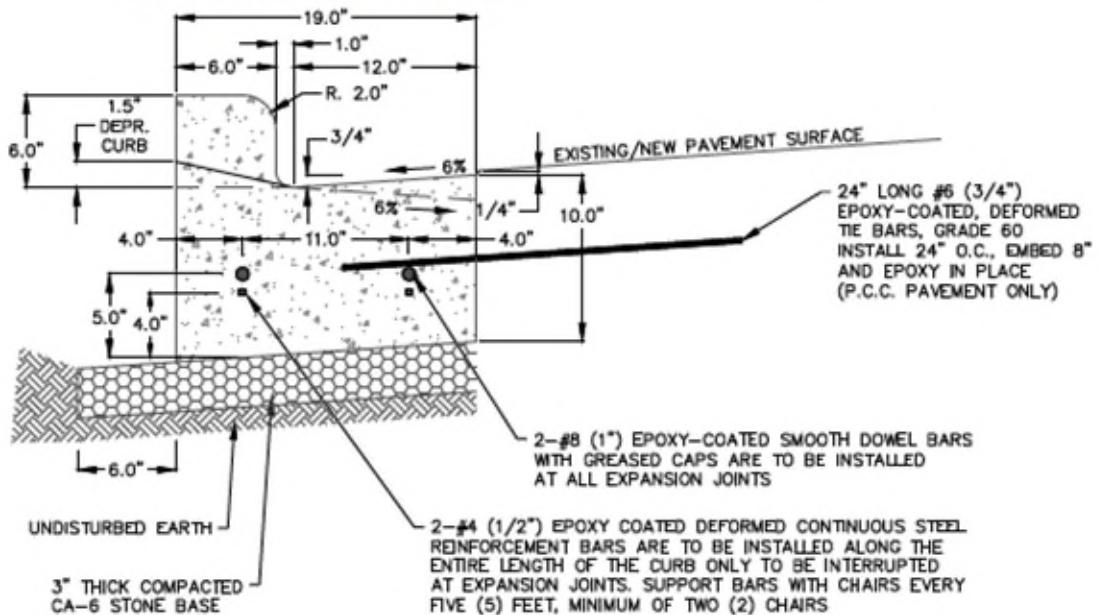
3/4" FIBER EXPANSION JOINT
PER ASTM D-1751 (TYP.)

FOR FRAMES WITH A WIDTH ABOVE 19.0",
TAPER GUTTER FLAG OVER A 5-FOOT
TRANSITION TO FULL FRAME WIDTH (TYP.)



PLAN VIEW

TYPE B-6.12 & DEPRESSED CURB



NOTES:

1. EXPANSION JOINTS ARE TO BE CONSTRUCTED AT 60' INTERVALS AND AT ADDITIONAL LOCATIONS AS SPECIFIED BY THE ENGINEER.
2. CONTRACTION JOINTS ARE TO BE CONSTRUCTED AT 15' INTERVALS AND AT ADDITIONAL LOCATIONS AS SPECIFIED BY THE ENGINEER.
3. WITH NEW CURB REPLACEMENT NEXT TO HMA, CONTRACTOR IS REQUIRED TO PLACE 2' OF HMA FULL DEPTH PAID SEPARATELY TO MATCH EXISTING.
4. REVERSE PITCH CURB WILL REQUIRE A 6% GUTTER FLAG DROPPING AWAY FROM CURB

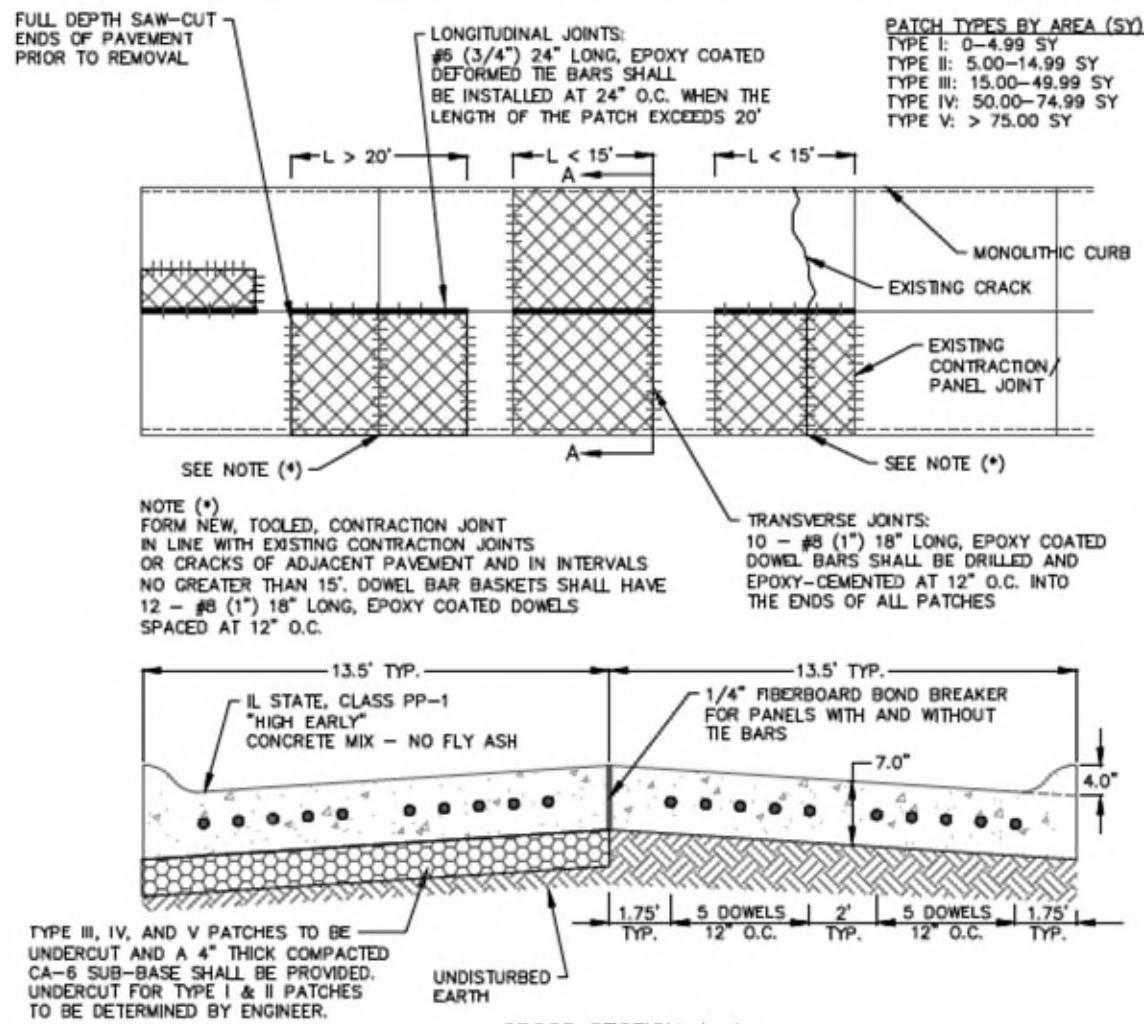
COMBINATION CURB & GUTTER

Village of Northbrook
Public Works Department

DATE	REVISIONS
4-30-20	Consolidated Details, Revised Notes
4-1-21	Added Plan Note
5-1-23	Revised detail Added Note

STANDARD DETAIL
P-1 (03)

(Sheet 1 of 1)



NOTES:

1. ALL CONTRACTION JOINTS SHALL BE SAW-CUT TO A DEPTH OF 2" AT THE END OF EACH WORKING DAY OR SOONER IF PERMISSIBLE.
2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF PANELS THAT DEVELOP SHRINKAGE CRACKS THAT ARE NOT LOCATED AT THE SAWED CONTRACTION JOINT.
3. ALL JOINTS AND THE PERIMETER OF THE PATCH SHALL BE PREPARED, CLEANED AND SEALED WITH HOT MIX RUBBER ASPHALT JOINT SEALER.
4. WHITE CURING COMPOUND, PER IDOT SECTION 1022.01(C), SHALL BE APPLIED TO THE CONCRETE IMMEDIATELY AFTER IT HAS BEEN FINISHED OR PER MANUFACTURER'S RECOMMENDATION.

CONCRETE STREET PATCHING DETAIL

Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL P-7 (02)
	4-30-20	Revised Notes & Specifications	
	4-1-21	Added Plan Note & Revised Picture	

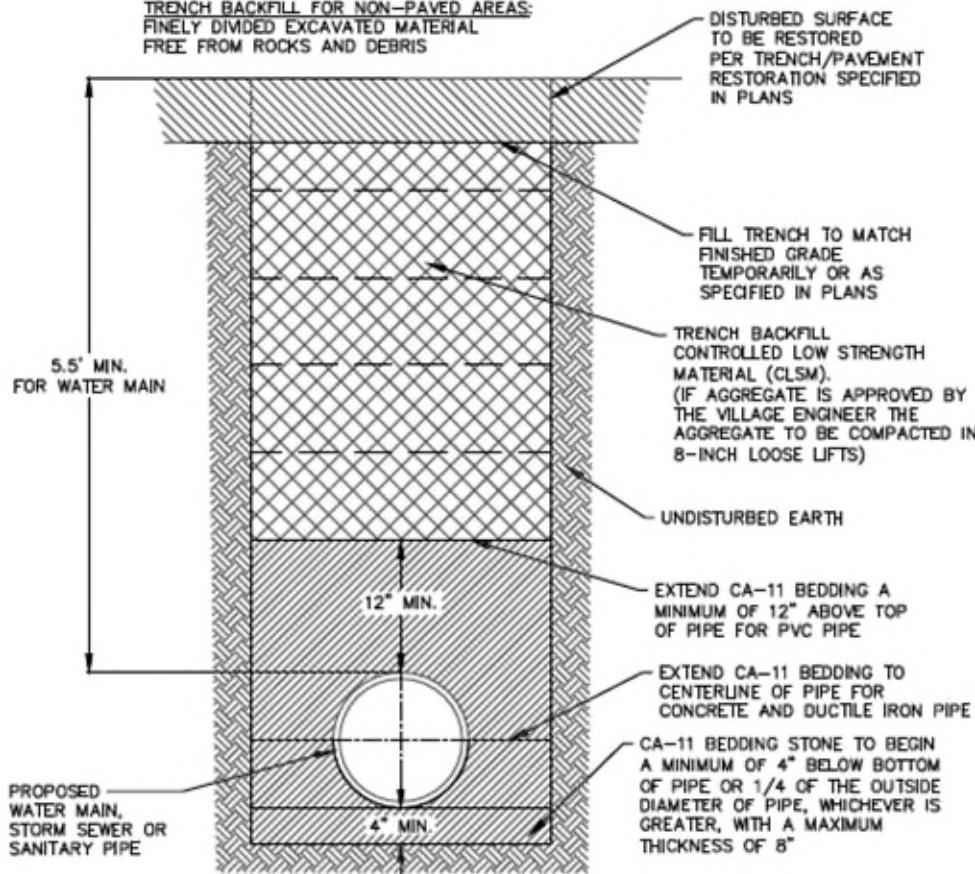
(Sheet 1 of 1)

TRENCH BACKFILL FOR PAVED AREAS, INCLUDING ROAD, CURB AND SIDEWALK:

CONTROLLED LOW STRENGTH MATERIAL (CLSM).
(CA-6 OR APPROVED EQUAL MAY BE USED ONLY WHEN APPROVED BY THE VILLAGE ENGINEER)
TBF REQUIRED 2 FEET BEYOND ANY PAVED SURFACE

TRENCH BACKFILL FOR NON-PAVED AREAS:

FINELY DIVIDED EXCAVATED MATERIAL FREE FROM ROCKS AND DEBRIS



MIX I	
PORTLAND CEMENT	50 LB (30 KG)
FLY ASH - CLASS C or F	125 LB (74 KG)
FINE AGGREGATE - SATURATED SURFACE DRY	2900 LB (1720 KG)
WATER	50-65 GAL (248-322 L)
AIR CONTENT	NO AIR IS ENTRAINED

TYPICAL TRENCH AND BEDDING DETAIL

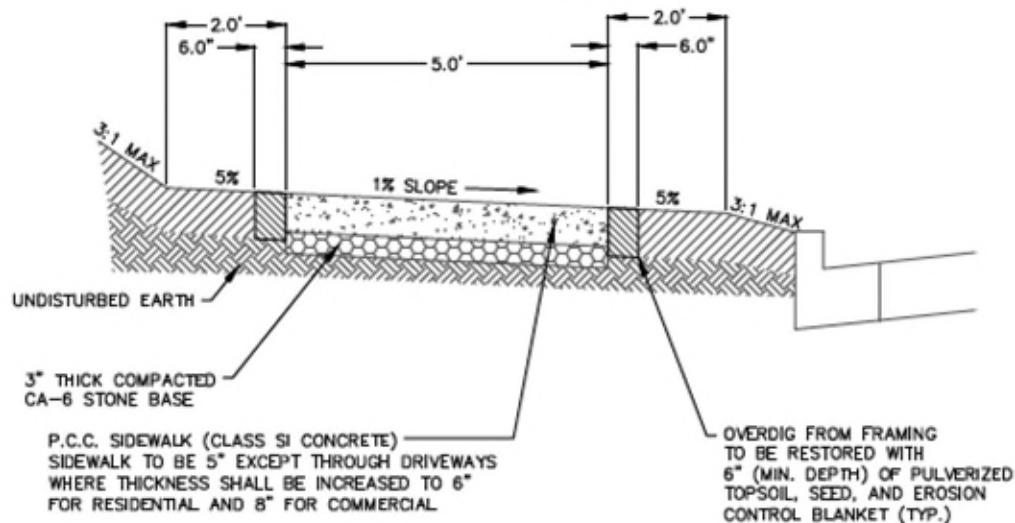
Village of Northbrook
Public Works Department

DATE	REVISIONS
1-9-19	Consolidated Trench Details
5-12-22	Controlled Low Strength Material

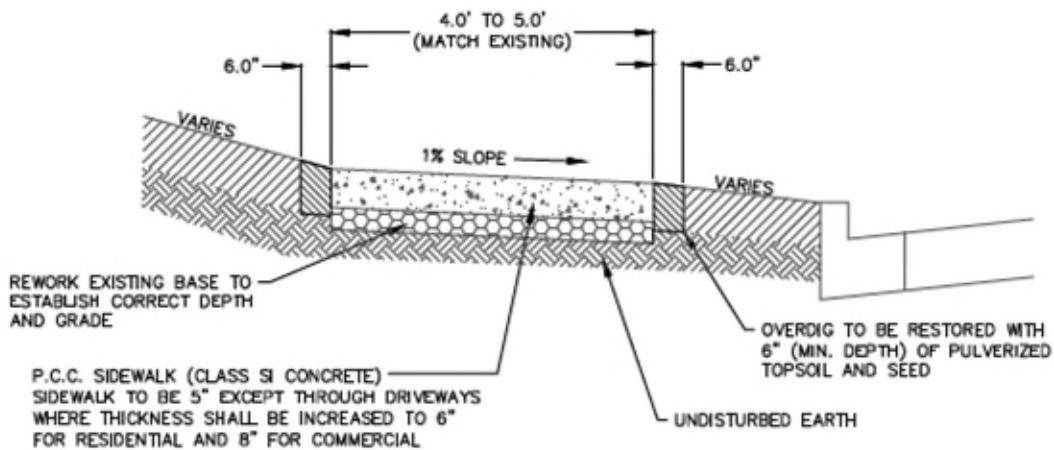
STANDARD DETAIL
W-11 (02)

(Sheet 1 of 1)

NEW P.C.C. SIDEWALK



P.C.C. SIDEWALK PATCHING



NOTES:

1. WHEN CONSTRUCTING SIDEWALK WITHIN THE DRIPLINE OF A TREE,
FOLLOW STANDARD DETAIL FOR "P.C.C. SIDEWALK IN DRIPLINE DETAIL" P-6
2. PROVIDE 1/2" THICK FIBER EXPANSION JOINT PER ASTM D-1751 EVERY 50 FEET

P.C.C. SIDEWALK DETAIL

Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL P-5 (02)
	4-30-20	Consolidated Sidewalk Details	
	5-1-23	Revised Callouts	

(Sheet 1 of 1)

To be incorporated into all construction documents for right-of-way improvements

The following specifications are guidelines to ensure that the parkway trees are not damaged during the proposed construction.

As with all guidelines, it will be in the contractor's best interest, to schedule a meeting prior to construction to ensure that all questions regarding proposed work and tree impacts are discussed and agreement reached with the Village Forester.

PROXIMITY TO TREES

- Any new sidewalk or street excavation to be made will require prior approval by the Village Forester.
- Site markings indicating proximity of proposed work shall be marked by each tree with paint prior to scheduling an inspection by the Village Forester.
- The permitted distance from the trunk of a tree to any proposed excavation is 6 feet or more.
- If the proposed improvement is within 6 feet or less of the tree, the tree may be required to be removed. (See Tree Removal).

TREE PRESERVATION FENCING

- Wooden slat snow fence will need to be erected from drip line to drip line of each tree within the construction zone.
- Enclosed Tree Protection Detail will be part of the construction documents.

TREE ROOT PRUNING

- Root pruning shall be performed on any tree that is more than 6 feet from the proposed construction zone.
- Root pruning will **not be permitted** on any tree that is less than 6 feet away from proposed construction zone.
- Root pruning equipment must be approved by the Village Forester prior to use.
- Hand root pruning will not be permitted unless approved by the Village Forester. All hand root pruning will require a Certified Arborist's supervision.

TREE REMOVAL

- Tree removal is recommended for trees closer than 6 feet to a construction zone.
- The use of structural soil and barrier fabric will be considered as an alternative to tree removal.
- All tree removals require a written permit from the Village Forester **prior** to removal.

TREE CANOPY PRUNING

- Tree branches hanging into the construction zone may be pruned by a Certified Tree Worker.
- All pruning cuts must meet ANSI A300-2001 Standards.
- No American Elms or Oaks may be pruned without written permission and instructions to Certified Arborist from the Village Forester between April 1st and October 31st.

DAMAGE TO TREES

- Failure to follow these specifications will result in the contractor requiring to post a cash bond, equivalent to the value of each damaged tree, for a period not to exceed 3 years.
- Bond value will be determined by the Village Forester.
- The Village Forester reserves the right to stop the job for unsupervised work that is determined to cause irreparable damage to any right-of-way tree. Stop work order will be enforced until the cash bond is paid as determined.

CONSTRUCTION AND TREE PRESERVATION SPECIFICATIONS FOR PARKWAY TREES

Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL G-12 (02)
	4-30-20	No Changes	
	4-1-21	Changed Page Format	

(Sheet 1 of 1)