Ordinance 2023-8

An Ordinance Granting Approval of Special Permits, Development Concept Plan, Variations, Exceptions, Waiver, Site Plan, Tentative Plat, a Development Agreement, and a First Amendment to Purchase and Sale Agreement (1657 Shermer Road) (Plan Commission Docket No. PCD-22-08)

Passed by the Board of Trustees, 1/25/2023
Printed and Published 1/25/2023

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees
VILLAGE OF NORTHBROOK
COOK COUNTY, ILLINOIS

I hereby certify that this document was properly published on the date stated above.

/s/ Debra J. Ford
Village Clerk

I hereby certify this to be a true and exact copy of the Original.
2-2-2023
Date
Village Clerk

VILLAGE OF NORTHBROOK CORPORATE SEAL COOK COUNTY, ILL.

Ordinance 2023-8

BE IT ORDAINED by the President and Board of Trustees of the Village of Northbrook, County of Cook and State of Illinois THAT:

An Ordinance Granting Approval of Special Permits, Development Concept Plan, Variations, Exceptions, Waiver, Site Plan, Tentative Plat, a Development Agreement, and a First Amendment to Purchase and Sale Agreement (1657 Shermer Road) (Plan Commission Docket No. PCD-22-08)

shall be, and is hereby, adopted as follows:

Section 1. BACKGROUND.

QMC Northbrook Holdings, LLC (***"QMC"***) is the contract purchaser of the property commonly known as 1657 Shermer Road (***"Property"***), which is owned by the Village of Northbrook (***"Village"***). Housing Opportunity Development Corporation (***"HODC"***) is the co-applicant for the zoning relief requested herein (QMC and HODC are sometimes collectively referred to as ***"Applicant"***). The Village has consented to Applicant's petition for the Requested Relief, defined and described herein.

Applicant has proposed to construct a mixed-use planned development consisting of two residential buildings and one commercial structure on the Property. Specifically, (i) QMC intends to construct a multi-family residential building with a maximum of 318 units on five floors, and an approximately 6,500 square foot retail building that is intended to be used as an Eating Place (restaurant) open to the public with accessory outdoor seating on that portion of the Property designated as Sub-Area A; and (ii) QMC intends to donate that portion of the Property designated as Sub-Area B to HODC to allow for HODC to construct a multi-family residential building with 48 units on four floors to be used

exclusively for Cost Effective Supportive Housing, as defined in the Development Agreement (collectively, the "***Planned Development***").

On January 25, 2023, the Village President and Board of Trustees adopted: (i) Ordinance No. 2023-06 amending the Village's Zoning Code to allow an increase in maximum permitted height for Planned Developments within the VGRC Village Green Residential & Commercial District (***"VGRC District"***) from 45' and four stories to 64' and five stories; and (ii) Ordinance No. 2023-07 amending the Village District Zoning Map to rezone the Property from the from the I-1 Restricted Industrial District and R-5 Single Family Residential District to the VGRC District.

Applicant has requested the following additional relief from the Village of Northbrook's Zoning Code (1988), as amended ("***Zoning Code***") and the Village of Northbrook Subdivision and Development Code (1991), as amended ("***Subdivision Code***") to allow the construction of the Planned Development on the Property: (i) approval of a Tentative Plat; (ii) a special permit for a Mixed Use Planned Development (9820.01); (iii) a special permit for an Eating Place (Restaurant); (iv) a special permit for Outdoor Seating Accessory to Permitted Eating Place; (requests ii, iii, and iv are hereinafter referred to collectively as the "***Special Permits***"); (v) Development Concept Plan Approval; (vi) a variation from Section 9-105 of the Zoning Code to reduce the required number of loading spaces from 1 to 0; (vii) a variation from Section 8-711 of the Zoning Code to reduce the required interior yard (south) from 5' to 1'; (viii) a variation from Section 8-711 of the Zoning Code to reduce the required rear yard from 20' to 15' on south parcel; (ix) a variation from Section 8-711 of the Zoning Code to reduce the required rear yard from 20' to 4' on the north parcel (requests vi, vii, viii, and ix are hereinafter referred to collectively as the "***Variations***"); (x) a waiver of the requirement in the Zoning Code for parking garage ramps not to exceed 8% slope to allow a 15% slope ("***Waiver***"); (xi) exceptions to various Zoning Code requirements in conjunction with a Mixed-Use Planned Development application ("***Exceptions***") and (xii) Site Plan Approval. The approval of a Tentative Plat, Special Permits, Development Concept Plan Approval, the Variations, the Waiver, the Exceptions and the Site Plan Approval are collectively referred to hereinafter as the "***Requested Relief***."

The Architectural Control Commission ("***ACC***") reviewed the plans for the proposed construction of the Planned Development and recommended approval. An additional review and recommendation from the ACC will be required prior to final plan approval.

On May 11, 2022, the President and Board of Trustees adopted Ordinance No. 2022-21 approving a Purchase and Sale Agreement ("***PSA***") for the Property with Lennar Multifamily Communities, LLC, the predecessor in interest to QMC. The PSA was executed and effective as of that same date. Based on several material changes that were made to the proposed development during the review and consideration of the Requested Relief, including a reduction in height and density, and an increase in parking, QMC has requested an amendment to the PSA to allow for a reduction in price and for the ability to extend the date of the closing.

The President and the Board of Trustees have determined that it is in the best interest of the Village and its residents to grant the Requested Relief, as well as to approve the First Amendment to the PSA, in accordance with the terms and conditions of this Ordinance.

This Ordinance, and the actions and approvals by the Village set forth in this Ordinance are an exercise of the home rule authority of the Village of Northbrook.

Section 2. DESCRIPTION OF PROPERTY.

The Property consists of approximately 10.3 acres and is legally described in ***Exhibit A***, attached to and, by this reference, made a part of this Ordinance. The Property is located within the

VGRC Village Green Residential & Commercial District. Sub-Area A of the Property, as depicted on the Development Concept Plan, corresponds to Lot 2 on the Tentative Plat and consists of approximately 8.8 acres. Sub-Area B of the Property, as depicted on the Development Concept Plan, corresponds to Lot 1 on the Tentative Plat and consists of approximately 1.5 acres.

Section 3. PUBLIC HEARINGS.

A public notice for the Requested Relief was duly published on September 29, 2022 in the *Northbrook Herald* and a public hearing was held at the Plan Commission's regular meetings on October 18, 2022 and November 1, 2022. On November 15, 2022, the Plan Commission formally adopted Resolution No. 22-PC-12 recommending denial of the Requested Relief.

Section 4. APPROVAL OF TENTATIVE PLAT.

Subject to and contingent upon the conditions set forth in Section 11 of this Ordinance, the "Tentative Plat of LMC Northbrook," prepared by V3 Companies, Ltd. and consisting of two sheets, with the most recent revision date of July 19, 2022, a copy of which is attached to and, by this reference, made a part of this Ordinance as ***Exhibit B*** ("***Tentative Plat***") is hereby approved.

Section 5. DEVELOPMENT CONCEPT PLAN APPROVAL.

Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 11 of this Ordinance, the Development Concept Plan for the Property, shall be, and is hereby, approved in accordance with and pursuant to Section 11-604 of the Zoning Code and the home rule powers of the Village. The Development Concept Plan depicts the following development on the Property:

A. "***Sub-Area A***" is to be comprised of:

(i) "***Sub-Area A Multifamily Residential***," upon which QMC will construct a multifamily rental apartment building; and

(ii) "***Sub-Area A Retail***," upon which QMC will construct a free-standing retail building;

B. "***Sub-Area B***" will be developed with a multi-family residential building to be used exclusive for Cost Effective Supportive Housing, as defined in the Development Agreement, which will be constructed by HODC.

The Development Concept Plan consists of the following plans and documents, all of which are attached to, and by this reference, collectively made a part of this Ordinance as ***Exhibit C***:

(i) Proposed Site Plan (Sub Area A), prepared by Antunovich Associates, consisting of 1 page, dated January 10, 2023.

(ii) Sub-Area A: Exterior Materials, Exterior Wall Axonometrics, Building Elevations, prepared by Antunovich Associates, consisting of 4 pages, dated January 10, 2023.

(iii) Sub-Area B: Site Plan, prepared by Cordogan Clark, consisting of 1 page, dated January 10, 2023.

(iv) Sub-Area B: Exterior Materials, Building Elevations, prepared by Cordogan Clark, consisting of 3 pages, dated January 10, 2023.

(v) Proposed Site Green Space, prepared by Antunovich Associates, consisting of 1 page, dated January 10, 2023.

(vi) Confluence: Ground Level Landscape Plan, prepared by Antunovich Associates, consisting of 4 pages, dated January 10, 2023.

(vii) Vehicular and Pedestrian Circulation Plan, prepared by Antunovich Associates, consisting of 1 page, dated January 10, 2023.

(viii) Preliminary Engineering Plans for 1657 Shermer, prepared by V3 Companies, Ltd., consisting of 11 pages, dated December 22, 2022.

Section 6. SPECIAL PERMITS FOR PLANNED DEVELOPMENT.

Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 11 of this Ordinance, a special permit for a Mixed Use Planned Development (9820.01) shall be and is hereby granted for the Property in accordance with and pursuant to Sections 11-602 and 11-603 of the Code and the home rule powers of the Village of Northbrook:

As provided in Section 12 of this Ordinance, notwithstanding the zoning approvals granted by Sections 5, 6, and 7 of this Ordinance, no building permits shall be issued for any portion of the Planned Development unless and until the Final Plan for the Planned Development ("***Final Plan***") is approved by the Village in accordance with and pursuant to Paragraph 11-603 D4 of the Zoning Code, and following review and recommendation by the ACC.

Section 7. SPECIAL PERMITS FOR RESTAURANT USE (SUB-AREA A RETAIL).

Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 11 of this Ordinance, the following approvals are granted for Sub-Area A Retail in accordance with and pursuant to Section 11-602 of the Code and the home rule powers of the Village of Northbrook:

A. A special permit for an Eating Place (Restaurant); and

B. A special permit for Outdoor Seating Accessory to Permitted Eating Place.

Section 8. VARIATIONS.

Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 11 of this Ordinance, the following variations shall be, and are hereby granted for the Property, all in accordance with and pursuant to Section 11-503 of the Zoning Code and the home rule powers of the Village of Northbrook:

A. Variation to reduce required number of loading spaces from 1 to 0;

B. Variation to reduce the required interior yard (south) from 5' to 1' to accommodate parking for Sub-Area A;

C. Variation to reduce the required rear yard from 20' to 15' on south parcel for Sub-Area A; and

D. Variation to reduce the required rear yard from 20' to 4' on the north parcel to accommodate parking for Sub-Area B.

Section 9. WAIVER.

Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 11 of this Ordinance, a waiver of the Zoning Code Requirement for parking garage ramps not to exceed 8% slope to allow a 15% slope shall be, and is hereby granted for the area of the Property depicted on the Site Plan as Sub-Area A Multifamily, all in accordance with and pursuant to Section 9-104 of the Zoning Code and the home rule powers of the Village of Northbrook.

Section 10. EXCEPTIONS.

Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 11 of this Ordinance, the following exceptions shall be, and are hereby granted for the Property, all in accordance with and pursuant to Section 11-505 of the Zoning Code and the home rule powers of the Village of Northbrook:

A. Reduce the required lot area per dwelling unit from 1,815 square feet to 1,100 square feet;

B. Reduce the required number of off-street parking spaces for an affordable housing apartment building from 2 spaces per dwelling unit to 1.25 spaces per dwelling unit for Sub-Area B;

C. Reduce the required number of off-street parking spaces for an apartment building from 2 spaces per dwelling unit to 1.68 spaces per dwelling unit for Sub-Area A Multifamily Residential;

D. Not require installation of wheel stops in parking stalls that are not located adjacent to a curb;

E. Increase the maximum permitted parking garage slope from 5% to 6% for a parking garage accessory to an apartment building for Sub-Area A Multifamily Residential;

F. Increase the allowable square foot area of ground signs from 25 square feet, but not to exceed 100 square feet per sign face, for Sub-Area A; and

G. Increase the number of ground signs permitted in a planned development in the VGRC District from 2 to 3, and decrease the required space distance between signs from 300', but no less than 100' between signs.

Section 11. CONDITIONS.

The Requested Relief granted by this Ordinance is contingent upon the development, construction, use, operation, and maintenance of the Property being in substantial compliance with the following terms, conditions, and provisions:

A. Execution of Development Agreement. Execution by the Applicant, or its successor entities or direct affiliates, of the Development Agreement described and approved in Section 13 of this Ordinance ("***Development Agreement***").

B. Compliance with Approvals. Development, construction, use, operation, and maintenance of the Property being in substantial compliance with the Final Plan and the Development Agreement, and all plans incorporated therein, except for minor changes and site work approved by the Director of Development and Planning Services or the Village Engineer (for matters within their respective permitting authorities) in accordance with all applicable Village standards.

C. Compliance with Affordable Housing. Full and continued compliance with the Village's Affordable Housing Ordinance, Article IX, Part III of the Zoning Code, in the manner that is set forth in the Development Agreement.

D. Compliance with Climate Action Plan. Full and continued compliance with the Village's Climate Action Plan in the manner that is set forth in the Development Agreement.

Section 12. FINAL PLAN APPROVAL PROCESS.

The Final Plan approval process for the Planned Development shall proceed in accordance with Section 11-603-D4 of the Zoning Code. No building permits shall be issued for any portion of the Planned Development unless and until the Final Plan for the Planned Development is approved by the Village. The deadline for the submittal to the Village by Applicant of all required documents for Village consideration, review, and approval of the Final Plan shall be, and is hereby set at January 30, 2024, which date may be extended without further action by the President and Board of Trustees in the manner set forth in the Development Agreement. Pursuant to, and in accordance with, Section 11-101 L of the Zoning Code an extension of the otherwise applicable time limit for all Special Permits granted in this Ordinance shall be, and are hereby, extended to be one year after the date of Final Plan approval.

Section 13. APPROVAL OF DEVELOPMENT AGREEMENT.

The Development Agreement by and between the Village and Applicant is hereby approved in substantially the form attached to this Ordinance as ***Exhibit D***, and in a final form to be approved by the Village Manager and the Village Attorney. The Village Manager is hereby authorized and directed to execute the Development Agreement.

Section 14. APPROVAL OF FIRST AMENDMENT TO the PSA.

The First Amendment to Purchase and Sale Agreement by and between the Village and the Applicant allowing for (a) a modification to the purchase price amount; and (b) a right to extend the date of closing is hereby approved in substantially the form attached to this Ordinance as ***Exhibit E***, and in a final form to be approved by the Village Manager and the Village Attorney. The Village Manager is hereby authorized and directed to execute the First Amendment to Purchase and Sale Agreement.

Section 15. FAILURE TO COMPLY WITH CONDITIONS.

Upon failure or refusal of either Applicant to comply with any or all of the conditions, restrictions or provisions of this Ordinance applicable to that Applicant, the Requested Relief shall, at the sole discretion of the Village Board of Trustees, by ordinance duly adopted, be revoked and become null and void, but only with respect to the development and parcel of the defaulting Applicant; provided, however, that the Village Board of Trustees may not so revoke the Requested Relief unless it shall first provide the applicable Applicant with two months advance written notice of the reasons for revocation, an opportunity to be heard at a regular meeting of the Board of Trustees, and a reasonable opportunity to cure the failure to comply. In the event of revocation, the development and use of the applicable portion

of the Property shall be governed solely by the regulations of the VGRC Village Green Residential & Commercial District, as the same may, from time to time, be amended. Further, in the event of such revocation of the Requested Relief, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. Applicants acknowledge that public notices and hearings have been held with respect to the adoption of this Ordinance, have considered the possibility of the revocation provided for in this Section, and agree not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice to the applicable Applicant or their successor required by this Section is given.

Section 16. AMENDMENT TO THE REQUESTED RELIEF.

Any amendment to the Requested Relief granted by this Ordinance that may be requested by either Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code.; provided, however, that an amendment that affects only one of the two development parcels shall not require the consent of the owners or occupants of the non-affected development parcel.

Section 17. BINDING EFFECT; TRANSFERABILITY.

The privileges, obligations, and provisions of each and every Section of this Ordinance, shall be binding on each Applicant, except as otherwise expressly provided in this Ordinance. Nothing in this Ordinance shall be deemed to allow the relief granted by this Ordinance to be transferred to any person or entity unless and until (a) such person or entity ("***Transferee***") executes and files with the Village Clerk an unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance in a form acceptable to the Village Manager and Village Attorney and (b) the Board of Trustees has approved such transfer by resolution duly adopted.

Section 18. EFFECTIVE DATE.

A. This Ordinance shall be effective only upon the occurrence of all of the following events:

i. passage by the Board of Trustees of the Village of Northbrook by a majority vote in the manner required by law;

ii. publication in pamphlet form in the manner required by law; and

iii. recordation of this Ordinance, together with such exhibits as the Village Clerk shall deem appropriate for recordation, with the Office of the Cook County Clerk. Applicants shall bear the full cost of such recordation.

B. In the event that the Applicant does not file with the Village Clerk a fully executed copy of the Development Agreement within 30 days after the date of passage of this Ordinance by the President and Board of Trustees, the corporate authorities shall have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

Adopted: 1/25/2023

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	Bob Israel, Trustee
SECONDER:	Johannah Hebl, Trustee
AYES:	Ciesla, Israel, Collison, Ross, Hebl, Pepoon, Ebhomielen

/s/ Kathryn L Ciesla
Village President

/s/ Debra J. Ford
Village Clerk

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

PARCEL 1:

LOTS 11 TO 19 INCLUSIVE, IN BLOCK 2 IN FIRST ADDITION TO NORTHBROOK MANOR, BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT THE EAST 30 FEET FOR STREET) AND THAT PART OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, LYING EAST OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD AND THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT RAILROAD) IN SECTION 10, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

ALL THAT PART OF VACATED ILLINOIS ROAD LYING SOUTH OF THE SOUTH LINE OF LOTS 11 TO 19 AND SOUTH OF THE SOUTH LINE OF LOT 11 EXTENDED WEST 8 FEET AND SOUTH OF THE SOUTH LINE OF LOT 19 EXTENDED EAST TO THE WESTERLY RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD, IN BLOCK 2 IN FIRST ADDITION TO NORTHBROOK MANOR IN SECTION 10, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, (EXCEPT THAT PART OF VACATED ILLINOIS STREET LYING SOUTH OF AND ADJOINING THE SOUTH LINE OF LOT 11 EXTENDED WEST A DISTANCE OF 8.00 FEET TO THE CENTERLINE OF A NORTH/SOUTH ALLEY LYING WEST OF AND ADJOINING SAID LOT 11; WEST OF THE WEST LINE OF LOT 11 EXTENDED SOUTH AND EAST OF THE CENTERLINE OF SAID ALLEY EXTENDED SOUTH SAID LOT 11 IN BLOCK 2 IN FIRST ADDITION TO NORTHBROOK MANOR, BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, (EXCEPT THE EAST 30 FEET FOR STREET) AND THAT PART OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LYING EAST OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD AND THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT RAILROAD) IN SECTION 10, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, AS DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED ON SEPTEMBER 4, 1987, AS DOCUMENT NUMBER LR3649417).

PARCEL 3:

THAT PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE WEST LINE OF SAID NORTHWEST 1/4, 150 FEET SOUTH OF THE NORTH LINE OF SAID 1/4 SECTION; THENCE SOUTH ALONG SAID WEST LINE A DISTANCE OF 376 FEET; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION, A DISTANCE OF 871.66 FEET TO THE WESTERLY LINE OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD; THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF SAID RIGHT OF WAY, A DISTANCE OF 394.10 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION TO THE PLACE OF BEGINNING (EXCEPTING FROM SAID PARCEL THAT PART DEDICATED FOR SHERMER ROAD BY

DOCUMENT NUMBER LR 2832561 AND ALSO EXCEPT THE WEST 33 FEET OF SAID PARCEL TAKEN OR USED FOR SHERMER ROAD) IN COOK COUNTY, ILLINOIS.

PARCEL 4:

THE NORTH 150.0 FEET (EXCEPT THE SOUTH 120 FEET OF THE EAST 152 FEET OF THE WEST 185 FEET THEREOF AND ALSO EXCEPT THE NORTH 30 FEET OF THE EAST 143 FEET OF THE WEST 176 FEET THEREOF) OF THAT PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF SAID SECTION 15, AND THE WEST LINE OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD; THENCE WEST ON SAID NORTH LINE 701.90 FEET TO THE NORTHWEST CORNER OF SAID SECTION 15; THENCE SOUTH ON THE WEST LINE OF SAID SECTION 1091.10 FEET; THENCE EAST ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION TO THE WEST LINE OF SAID RAILROAD RIGHT OF WAY; THENCE NORTHWESTERLY ALONG THE WEST LINE OF SAID RAILROAD RIGHT OF WAY TO THE PLACE OF BEGINNING, (EXCEPTING FROM SAID PARCEL THAT PART DEDICATED FOR SHERMER ROAD BY DOCUMENT NUMBER LR 2832561 AND ALSO EXCEPT THE WEST 33 FEET OF SAID PARCEL TAKEN OR USED FOR SHERMER ROAD) IN COOK COUNTY, ILLINOIS.

PARCEL 5:

NON-EXCLUSIVE EASEMENT FOR DRAINAGE PURPOSES FOR THE BENEFIT OF PARCELS 1, 2, 3, AND 4 AS SET FORTH IN DECLARATION OF RESTRICTIVE COVENANTS RECORDED SEPTEMBER 4, 1987 AS DOCUMENT 87490251 AND FILED SEPTEMBER 4, 1987 AS DOCUMENT LR 3649416.

P.I.N.: 04-15-100-047-0000

Commonly known as 1657 Shermer Road, Northbrook, Illinois

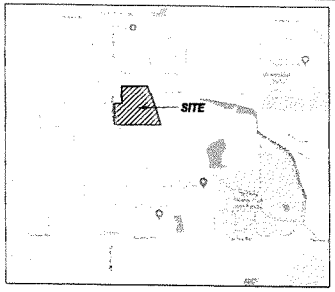
EXHIBIT B

TENTATIVE PLAT

TENTATIVE PLAT OF LMC NORTHBROOK

PART OF THE SOUTHWEST 1/4 OF SECTION 10, AND PART OF THE NORTHWEST QUARTER OF SECTION 15, ALL IN TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN:
04-10-315-038
04-15-100-047



VICINITY MAP
NOT TO SCALE

FLOOD HAZARD NOTE

THIS PROPERTY IS DETERMINED TO BE IN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF COOK COUNTY, ILLINOIS & INCORPORATED AREAS (COMMUNITY PANEL NO. 17031C0227J) EFFECTIVE DATE 8/19/2008.

OWNER/DEVELOPER

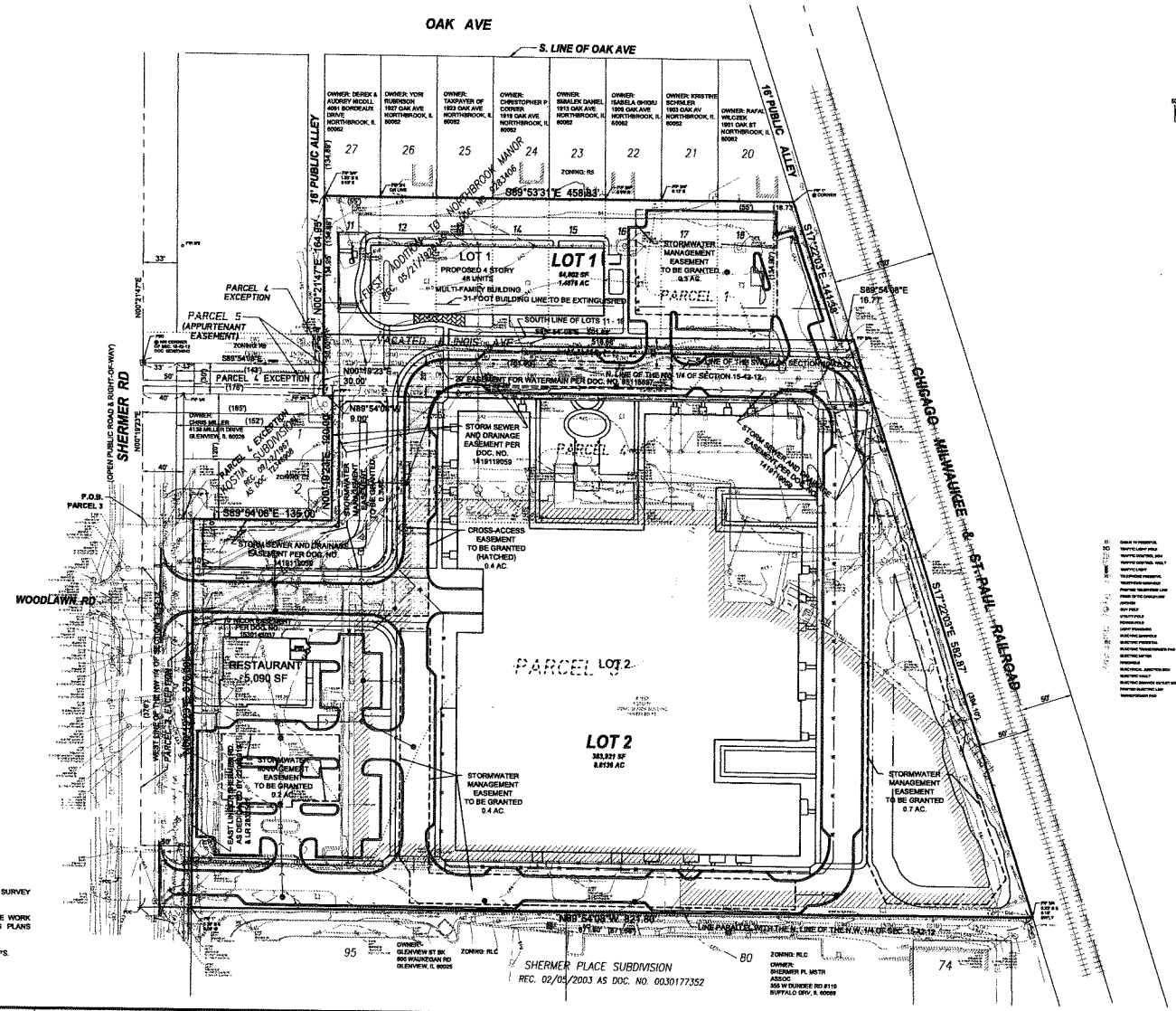
Lennar Multifamily Communities, L.L.C.
1300 E. Woodfield Road, Suite 304
Schaumburg,Illinois 60173
312 342 7704
Contact: Jeff Woll

ENGINEER

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Chuck Bartosz, PLS
cbartosz@v3co.com

SURVEYOR'S NOTES:

1. DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
2. SETBACKS AND EASEMENTS SHOWN HEREON ARE PER ALTA / NSPS LAND TITLE SURVEY PREPARED BY V3 COMPANIES, LTD, DATED MAY 24, 2022.
3. HALF-TONED LINE WORK REPRESENTS EXISTING CONDITIONS. BOLD-TONED LINE WORK REPRESENTS PROPOSED CONDITIONS. SEE ALSO PRELIMINARY ENGINEERING PLANS PREPARED BY V3 COMPANIES.
4. THE AVERAGE DAILY TRAFFIC GENERATED BY THE PROJECT IS 529 PEAK HOUR TRIP'S.



BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE: 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 42° 07' 25.10143" N
LONGITUDE 87° 49' 36.81481" W
ELLIPSOIDAL HEIGHT: 538.703 SFT
GROUND SCALE FACTOR 1.0000291354
ALL MEASUREMENTS ARE ON THE GROUND.

STATE PLANE MERIDIAN

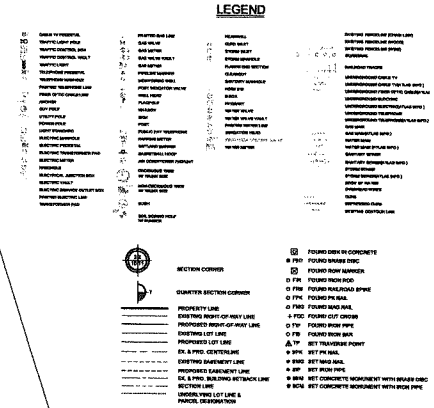
GRAPHIC SCALE

50' 0 25' 50' 100' 200'
1" = 50'

AREA

LOT 1	64,802 SQ. FT	1.5 ACRES
LOT 2	383,921 SQ. FT	8.8 ACRES
TOTAL	448,723 SQ. FT	10.3 ACRES

LEGEND



ABBREVIATIONS

N	NORTH	PC	POINT OF CURVATURE
S	SOUTH	PCC	POINT OF COMPOUND CURVATURE
E	EAST	PRC	POINT OF REVERSE CURVATURE
W	WEST	PT	POINT OF TANGENCY
CB	CHORD BEARING	(REC)	RECORD DATUM
A	ARC LENGTH	(MEAS)	MEASURED DATUM
R	RADIUS	(CALC)	CALCULATED DATUM
U.E.	UTILITY EASEMENT	<RIEB>	INFORMATION TAKEN FROM DEED
P.U.E.	PUBLIC UTILITY EASEMENT	ETBE	EXCEPTION TO BLANKET EASEMENT
D.E.	DRAINAGE EASEMENT	M.U.E.	MUNICIPAL UTILITY EASEMENT
EX.	EXISTING	I.E.	INGRESS & EGRESS EASEMENT
PRO.	PROPOSED		

Engineers Scientists Surveyors	7325 Janes Avenue, Suite 100 Woodridge, IL 60517 630.724.9200 voice 630.724.0384 fax v3co.com	PREPARED FOR: LENNAR MULTIFAMILY COMMUNITIES, L.L.C. 1300 E. WOODFIELD RD, SUITE 304 SCHAUMBURG, IL 60173 312-342-7704

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

TENTATIVE PLAT

LMC NORTHBROOK, ILLINOIS, 1657 SHERMER ROAD

DRAFTING COMPLETED:	07/19/22	DRAWN BY:	SPK	PROJECT MANAGER:	CWB
FIELD WORK COMPLETED:	N/A	CHECKED BY:	CWB	SCALE:	1" = 50'

Project No: 220603
Group No: VP04.1
SHEET NO. 1 of 2

TENTATIVE PLAT
OF
LMC NORTHBROOK

PART OF THE SOUTHWEST 1/4 OF SECTION 10, AND PART OF THE NORTHWEST QUARTER OF SECTION 15, ALL IN TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN:
04-10-315-038
04-15-100-047

LEGAL DESCRIPTION

PARCEL 1:

LOTS 11 TO 19 INCLUSIVE, IN BLOCK 2 IN FIRST ADDITION TO NORTHBROOK MANOR, BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT THE EAST 30 FEET FOR STREET) AND THAT PART OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, LYING EAST OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD AND THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT RAILROAD) IN SECTION 10, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

PARCEL 2:

ALL THAT PART OF VACATED ILLINOIS ROAD LYING SOUTH OF THE SOUTH LINE OF LOTS 11 TO 19 AND SOUTH OF THE SOUTH LINE OF LOT 11 EXTENDED WEST 8 FEET AND SOUTH OF THE SOUTH LINE OF LOT 19 EXTENDED EAST TO THE WESTERLY RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD, IN BLOCK 2 IN FIRST ADDITION TO NORTHBROOK MANOR IN SECTION 10, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, (EXCEPT THAT PART OF VACATED ILLINOIS STREET LYING SOUTH OF AND ADJOINING THE SOUTH LINE OF LOT 11 EXTENDED WEST A DISTANCE OF 8.00 FEET TO THE CENTERLINE OF A NORTH/SOUTH ALLEY LYING WEST OF AND ADJOINING SAID LOT 11; WEST OF THE WEST LINE OF LOT 11 EXTENDED SOUTH AND EAST OF THE CENTERLINE OF SAID ALLEY EXTENDED SOUTH SAID LOT 11 IN BLOCK 2 IN FIRST ADDITION TO NORTHBROOK MANOR, BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, (EXCEPT THE EAST 30 FEET FOR STREET) AND THAT PART OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LYING EAST OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD AND THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT RAILROAD) IN SECTION 10, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, AS DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED ON SEPTEMBER 4, 1997, AS DOCUMENT NUMBER LR3649417).

PARCEL 3:

THAT PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE WEST LINE OF SAID NORTHWEST 1/4, 150 FEET SOUTH OF THE NORTH LINE OF SAID 1/4 SECTION; THENCE SOUTH ALONG SAID WEST LINE A DISTANCE OF 376 FEET; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION, A DISTANCE OF 871.68 FEET TO THE WESTERLY LINE OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD; THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF SAID RIGHT OF WAY, A DISTANCE OF 394.10 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION TO THE PLACE OF BEGINNING (EXCEPTING FROM SAID PARCEL THAT PART DEDICATED FOR SHERMER ROAD BY DOCUMENT NUMBER LR 2832581 AND ALSO EXCEPT THE WEST 33 FEET OF SAID PARCEL TAKEN OR USED FOR SHERMER ROAD) IN COOK COUNTY, ILLINOIS.

PARCEL 4:

THE NORTH 150.0 FEET (EXCEPT THE SOUTH 120 FEET OF THE EAST 152 FEET OF THE WEST 185 FEET THEREOF AND ALSO EXCEPT THE NORTH 30 FEET OF THE EAST 143 FEET OF THE WEST 176 FEET THEREOF) OF THAT PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF SAID SECTION 15, AND THE WEST LINE OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD; THENCE WEST ON SAID NORTH LINE 701.99 FEET TO THE NORTHWEST CORNER OF SAID SECTION 15; THENCE SOUTH ON THE WEST LINE OF SAID SECTION 1091.10 FEET; THENCE EAST ON A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION TO THE WEST LINE OF SAID RAILROAD RIGHT OF WAY; THENCE NORTHWESTERLY ALONG THE WEST LINE OF SAID RAILROAD RIGHT OF WAY TO THE PLACE OF BEGINNING, (EXCEPTING FROM SAID PARCEL THAT PART DEDICATED FOR SHERMER ROAD BY DOCUMENT NUMBER LR 2832581 AND ALSO EXCEPT THE WEST 33 FEET OF SAID PARCEL TAKEN OR USED FOR SHERMER ROAD) IN COOK COUNTY, ILLINOIS.

PARCEL 5:

NON-EXCLUSIVE EASEMENT FOR DRAINAGE PURPOSES FOR THE BENEFIT OF PARCELS 1, 2, 3, AND 4 AS SET FORTH IN DECLARATION OF RESTRICTIVE COVENANTS RECORDED SEPTEMBER 4, 1997 AS DOCUMENT 87490251 AND FILED SEPTEMBER 4, 1997 AS DOCUMENT LR 3649416.

VILLAGE PRESIDENT

STATE OF ILLINOIS)
COUNTY OF))SS

APPROVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF NORTHBROOK, ILLINOIS ON THIS _____ DAY OF _____, 20 ___.

_____
VILLAGE PRESIDENT

ATTEST: _____
VILLAGE CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF))SS

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF NORTHBROOK, ILLINOIS ON THIS _____ DAY OF _____, 20 ___.

_____
CHAIRMAN

VILLAGE ENGINEER

STATE OF ILLINOIS)
COUNTY OF))SS

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF NORTHBROOK, ILLINOIS ON THIS _____ DAY OF _____, 20 ___.

_____
VILLAGE ENGINEER

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, CHARLES W. BARTOSZ, AN ILLINOIS PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED AT AND UNDER MY DIRECTION. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 26TH DAY OF JULY, A.D., 2022.

_____
CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3168
MY LICENSE EXPIRES ON NOVEMBER 30, 2022.
V3 COMPANIES , LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2023.
cbartosz@v3co.com

CHARLES W. BARTOSZ 3168 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS WOODRIDGE, ILLINOIS

Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
LENNAR MULTIFAMILY COMMUNITIES, L.L.C.
1300 E. WOODFIELD RD, SUITE 304
SCHAUMBURG, IL 60173
312-342-7704

REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

TENTATIVE PLAT

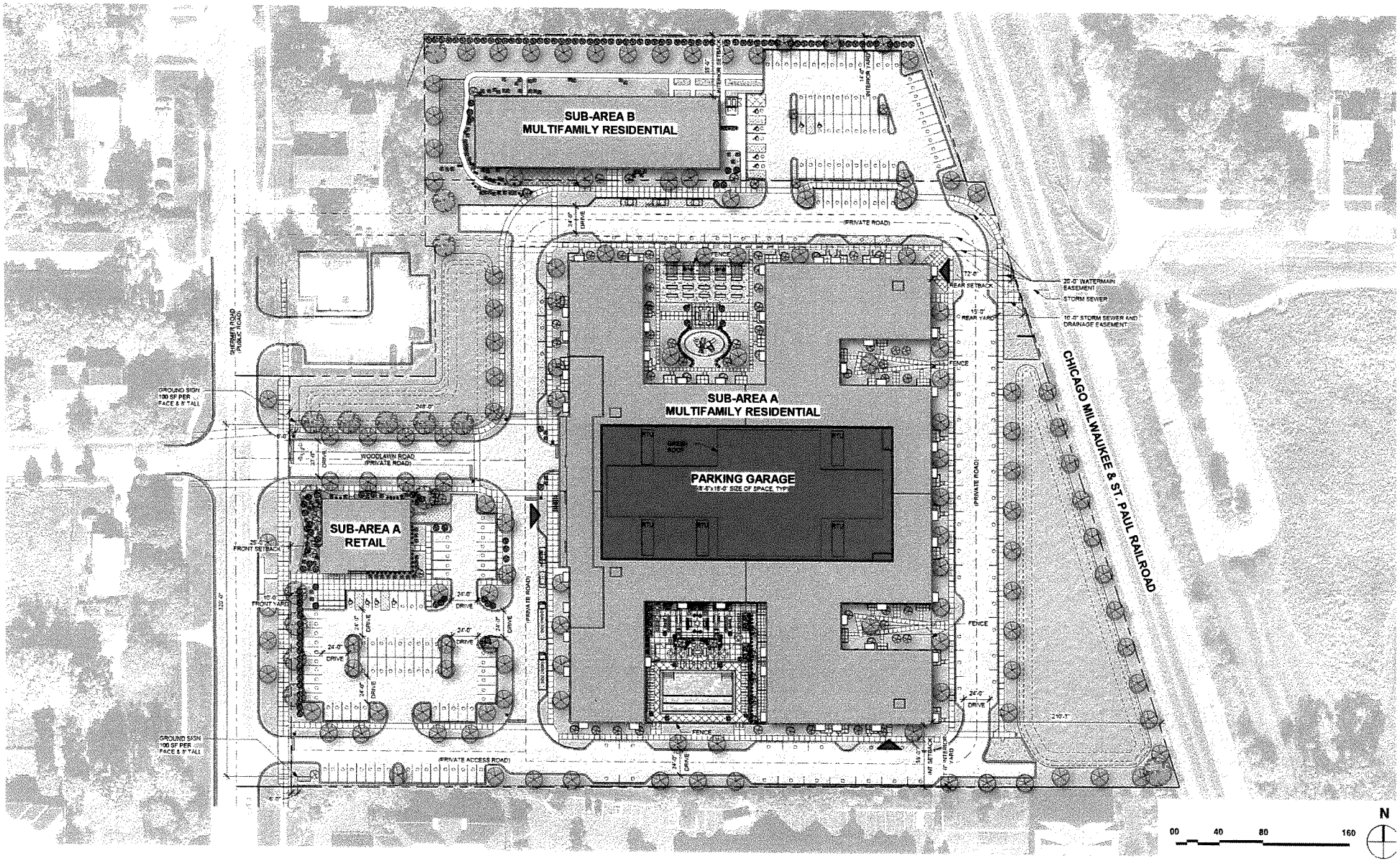
LMC NORTHBROOK, ILLINOIS, 1657 SHERMER ROAD

DRAFTING COMPLETED:	07/19/22	DRAWN BY:	SPK	PROJECT MANAGER:	CWB
FIELD WORK COMPLETED:	N/A	CHECKED BY:	CWB	SCALE:	1" = N/A

Project No: 220603
Group No: VP04.1
SHEET NO. 2 of 2

EXHIBIT C

DEVELOPMENT CONCEPT PLAN COMPONANTS

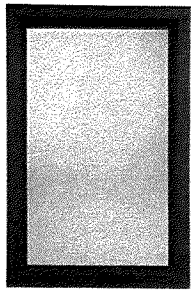


1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

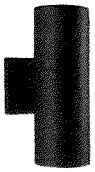
LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • **HOUSING OPPORUNITY DEVELOPMENT CORPORATION** SUB-AREA B DEVELOPER • **ANTUNOVICH ASSOCIATES** SUB-AREA A ARCHITECT • **CORDOGAN CLARK** SUB-AREA B ARCHITECT

PROPOSED SITE PLAN

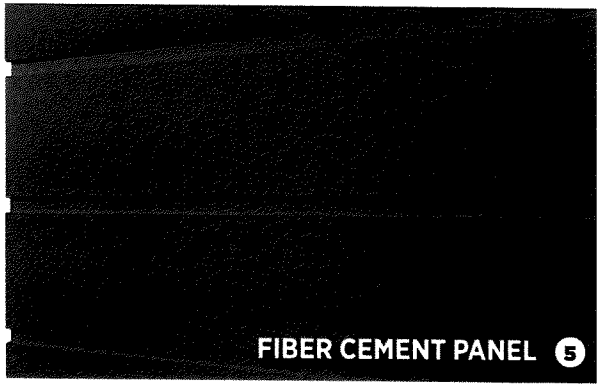
NORTHBROOK, ILLINOIS • JANUARY 10, 2023



INSULATED WINDOWS & TERRACE DOORS 6

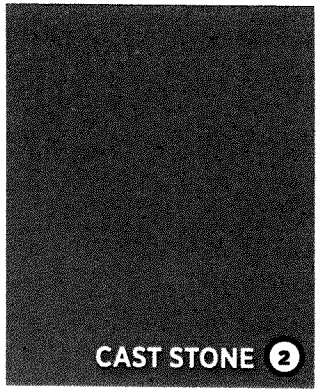


ORNAMENTAL LIGHT FIXTURES 7



FIBER CEMENT PANEL 5

GRANITE BASE 1



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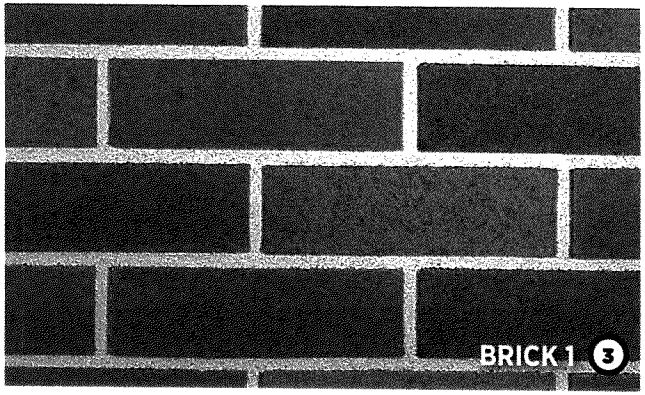
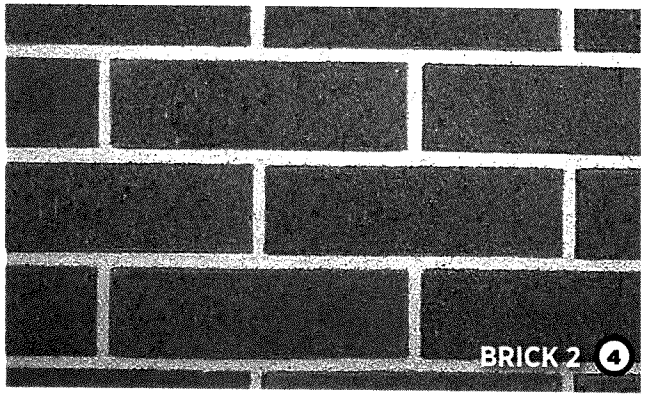


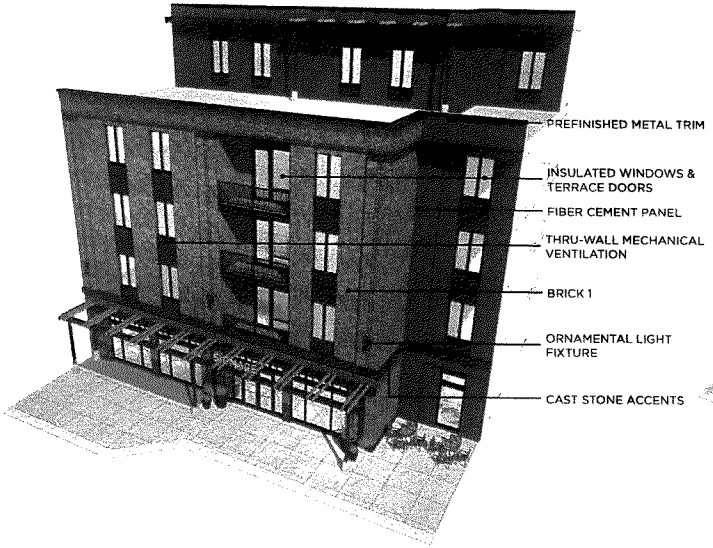
BRICK 1 3



BRICK 2 4

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

SUB-AREA A: EXTERIOR MATERIALS



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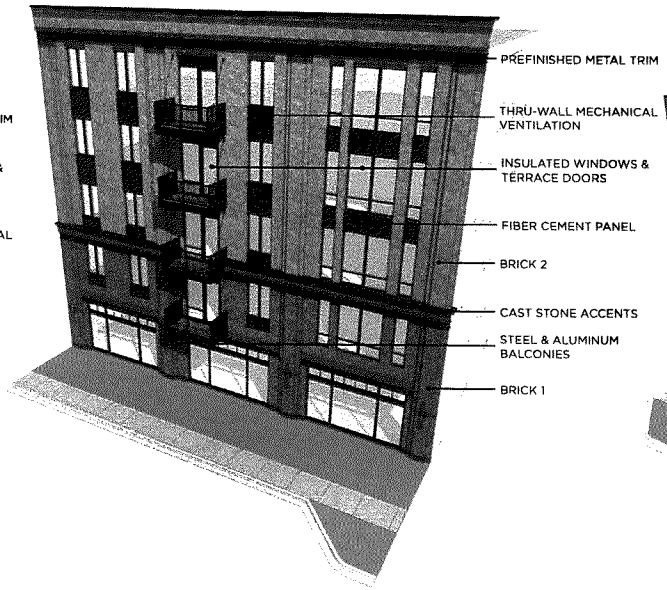

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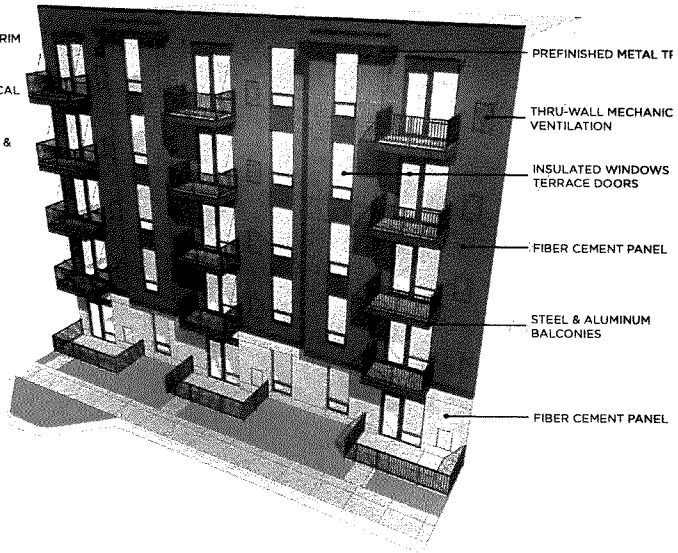
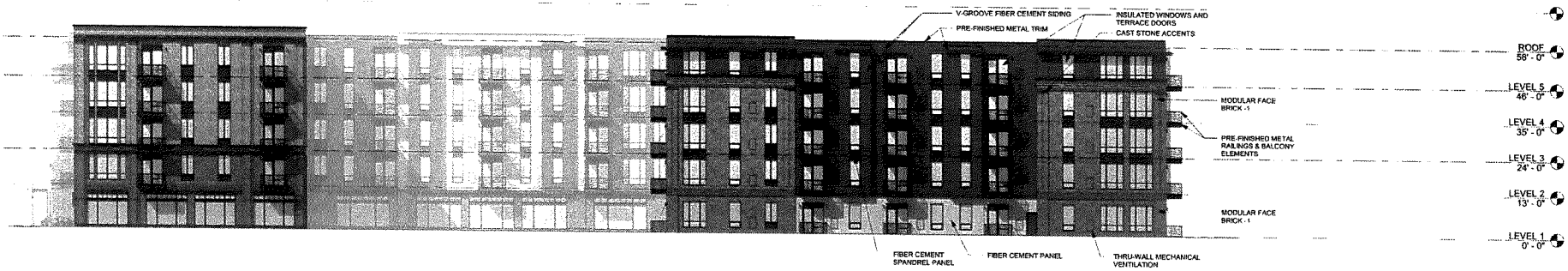
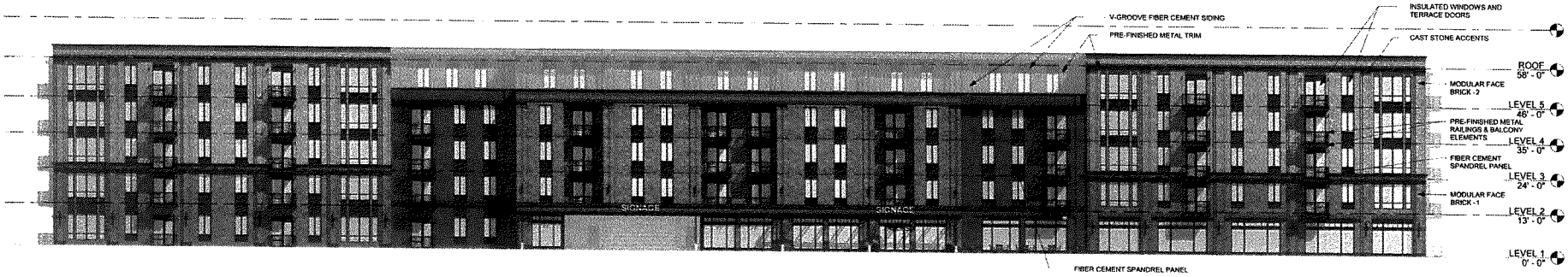


WALL TYPE 03



OVERALL SOUTH ELEVATION



OVERALL WEST ELEVATION

00 16 32 64

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • **HOUSING OPPORUNITY DEVELOPMENT CORPORATION** SUB-AREA B DEVELOPER • **ANTUNOVICH ASSOCIATES** SUB-AREA A ARCHITECT • **CORDOGAN CLARK** SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

SUB-AREA A: BUILDING ELEVATIONS

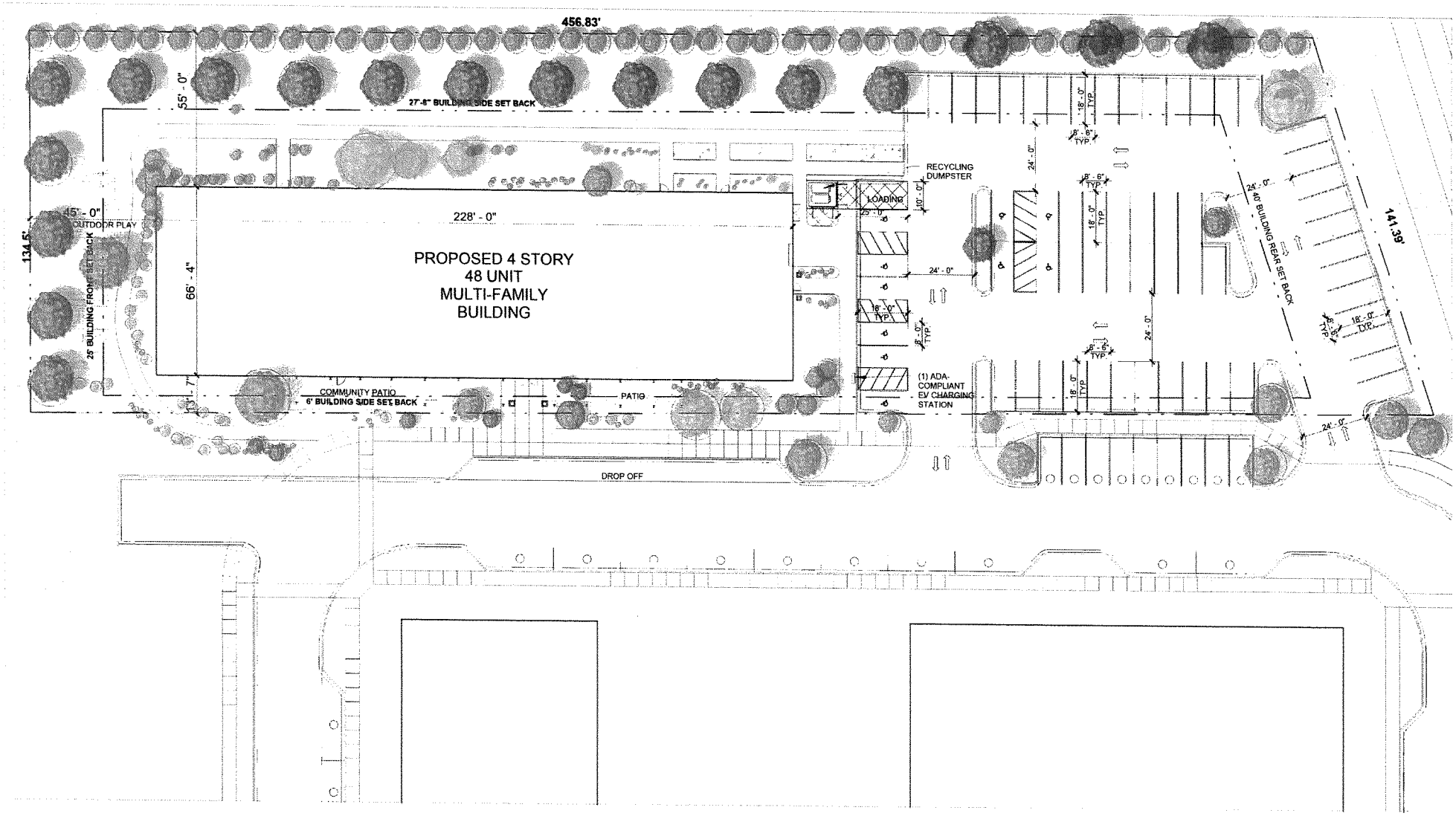
OVERALL EAST ELEVATION

OVERALL NORTH ELEVATION

00 16 32 64

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

SUB-AREA A: BUILDING ELEVATIONS



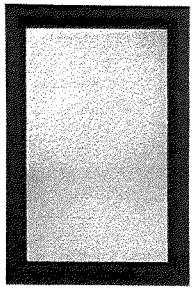
N

00 16 32 64

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

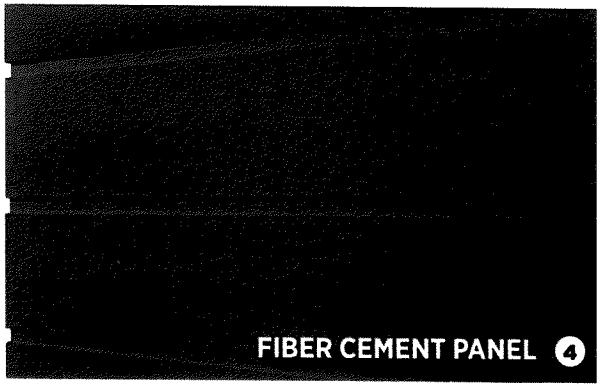
LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • HOUSING OPPORUNITY DEVELOPMENT CORPORATION SUB-AREA B DEVELOPER • ANTUNOVICH ASSOCIATES SUB-AREA A ARCHITECT • CORDOGAN CLARK SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

SUB-AREA B: SITE PLAN

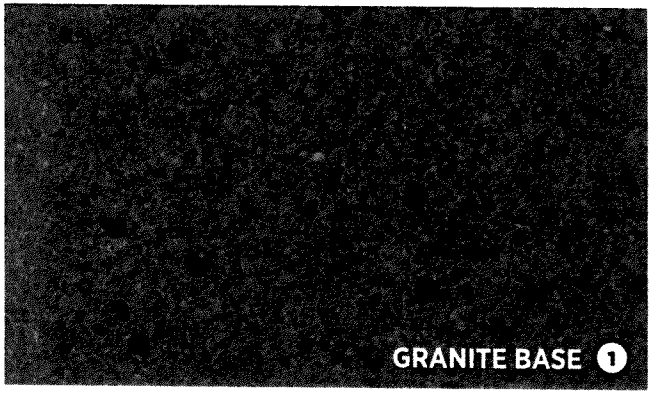


INSULATED WINDOWS & TERRACE DOORS 5

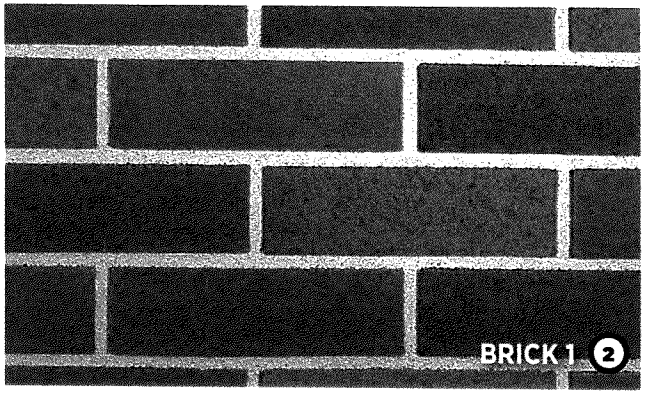
ORNAMENTAL LIGHT FIXTURES 6



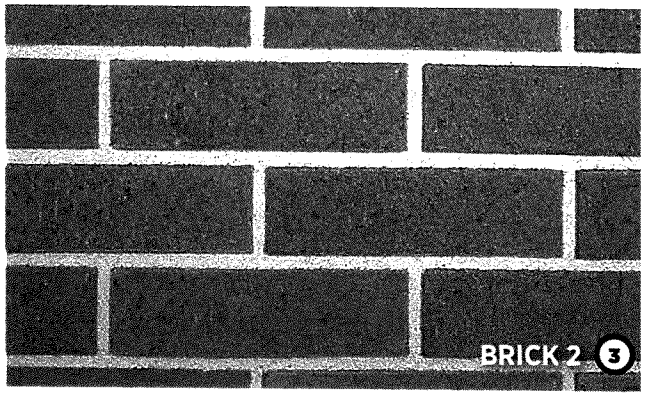
FIBER CEMENT PANEL 4



GRANITE BASE 1



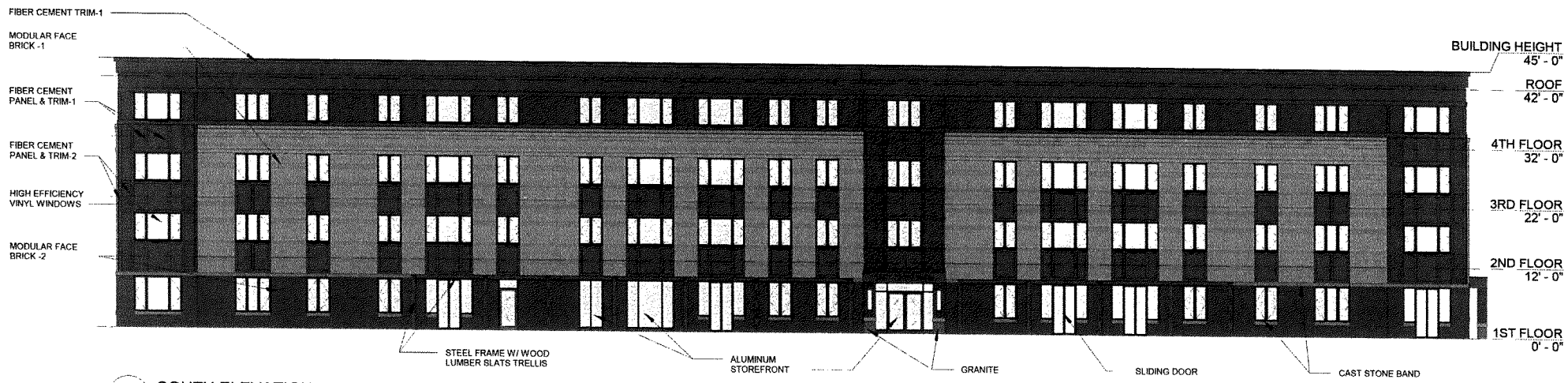
BRICK 1 2



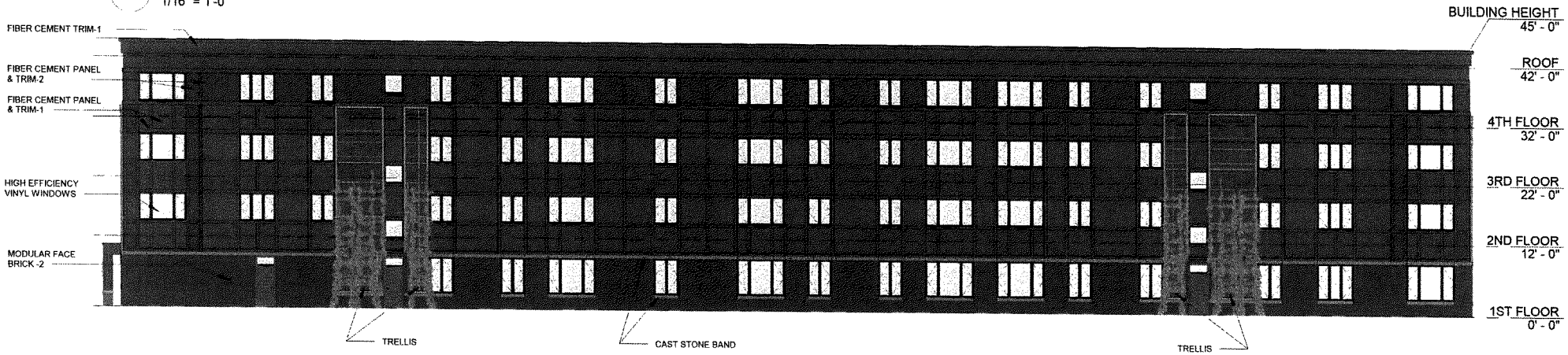
BRICK 2 3

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

SUB-AREA B: EXTERIOR MATERIALS



1 SOUTH ELEVATION
1/16" = 1'-0"



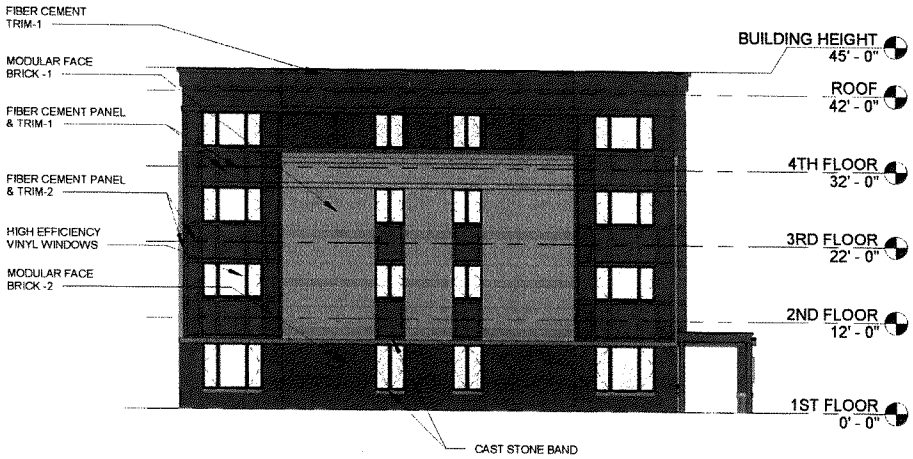
2 NORTH ELEVATION
1/16" = 1'-0"

00 08 16 32

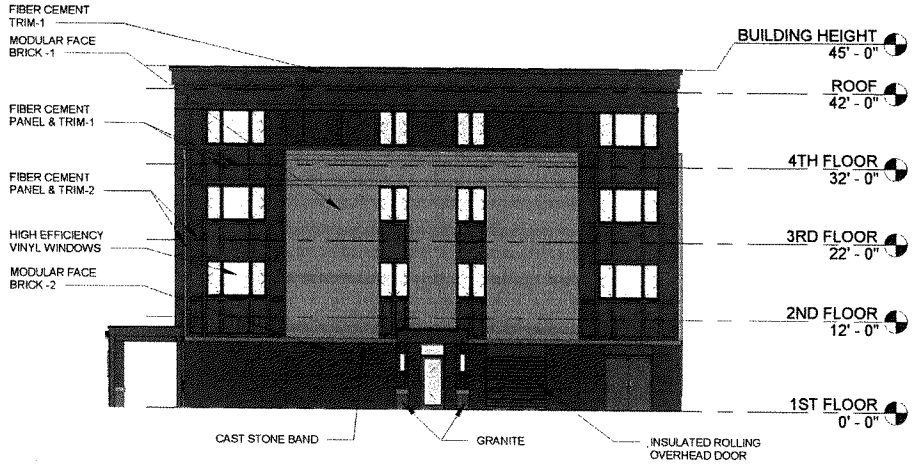
1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • HOUSING OPPORUNITY DEVELOPMENT CORPORATION SUB-AREA B DEVELOPER • ANTUNOVICH ASSOCIATES SUB-AREA A ARCHITECT • CORDOGAN CLARK SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

SUB-AREA B: BUILDING ELEVATIONS



1 WEST ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"

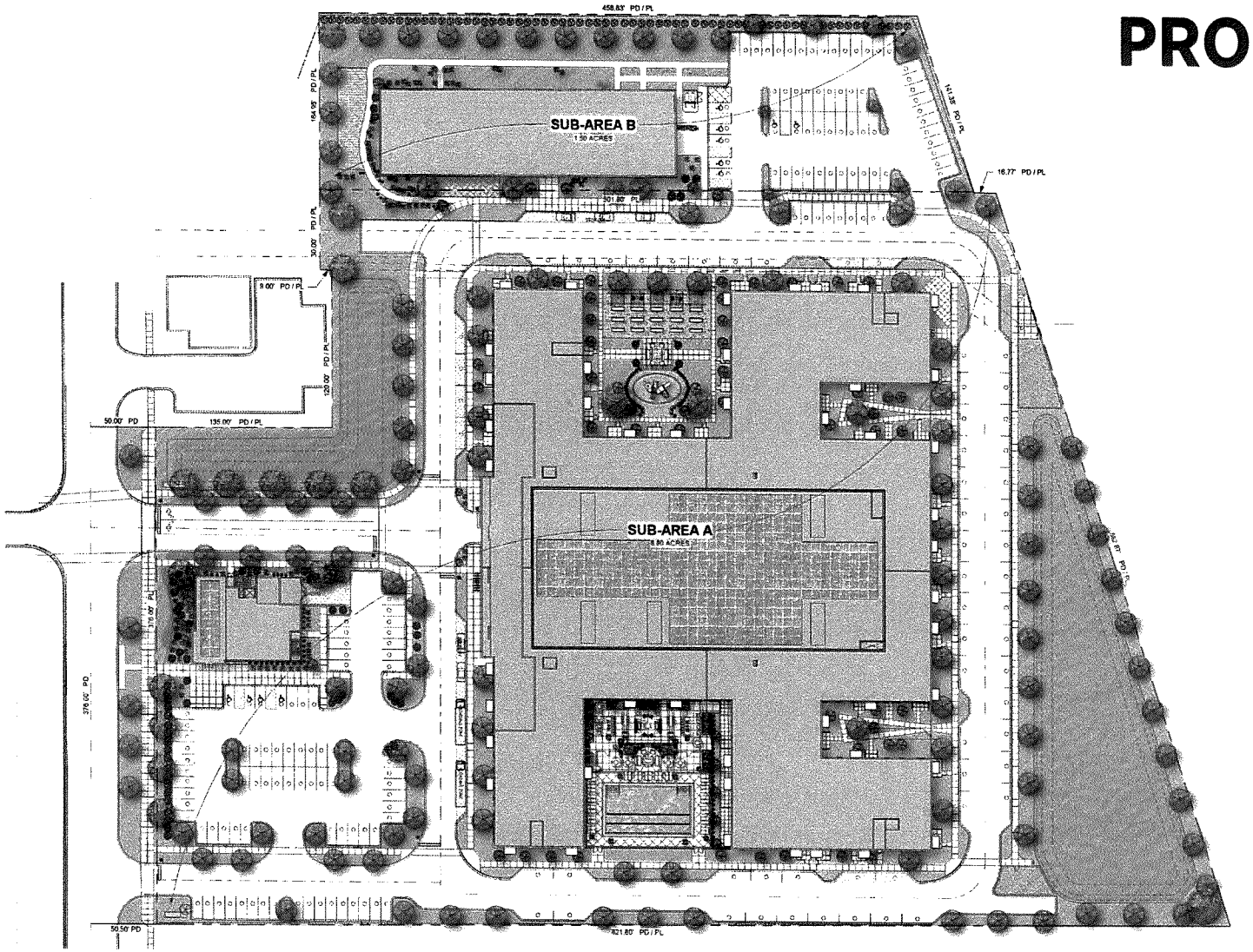
00 08 16 32

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • HOUSING OPPORUNITY DEVELOPMENT CORPORATION SUB-AREA B DEVELOPER • ANTUNOVICH ASSOCIATES SUB-AREA A ARCHITECT • CORDOGAN CLARK SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

SUB-AREA B: BUILDING ELEVATIONS

PROPOSED



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1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • **HOUSING OPPORUNITY DEVELOPMENT CORPORATION** SUB-AREA B DEVELOPER • **ANTUNOVICH ASSOCIATES** SUB-AREA A ARCHITECT • **CORDOGAN CLARK** SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

PROPOSED SITE GREEN SPACE

LANDSCAPE CALCULATIONS

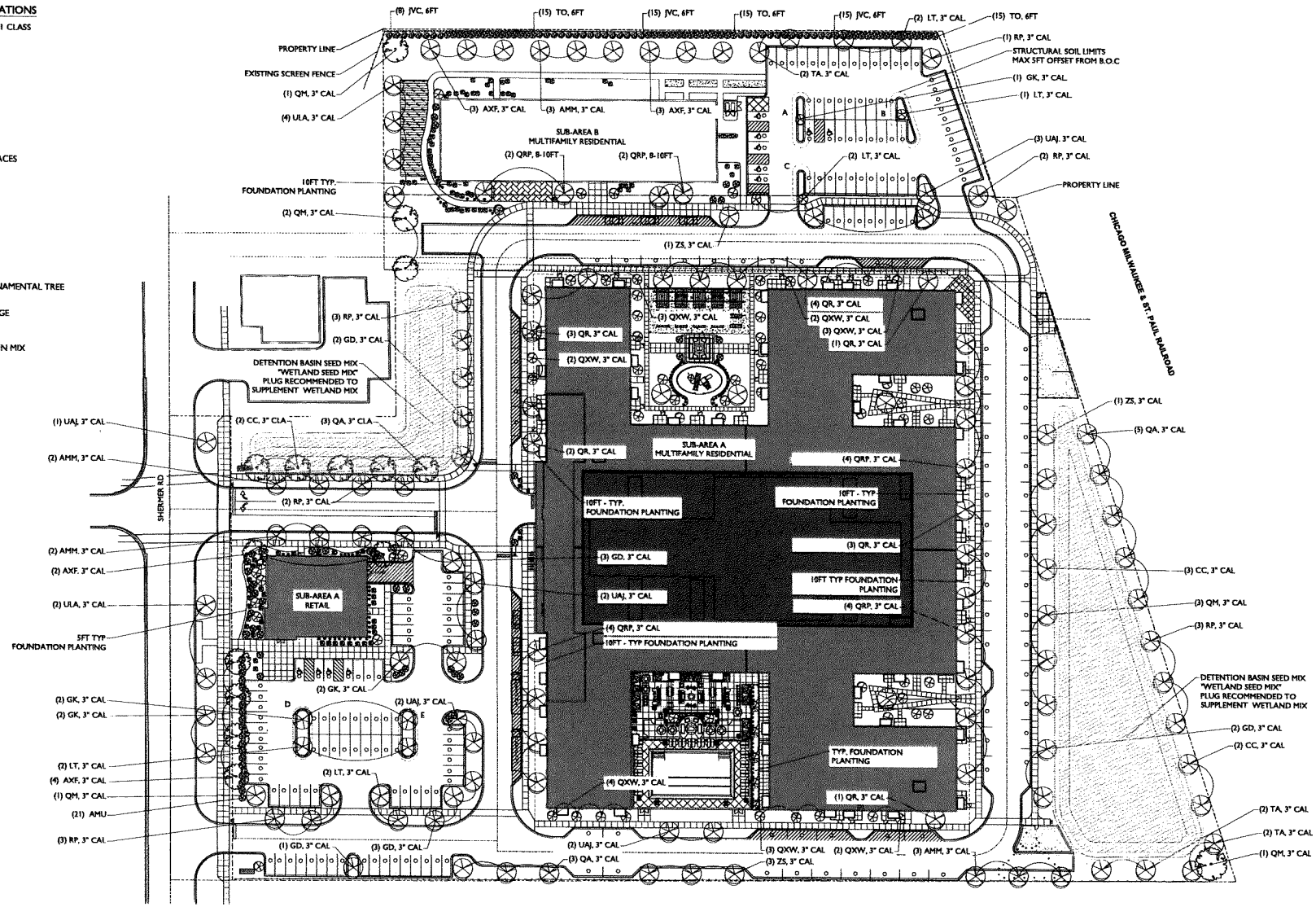
BUFFER REQUIREMENTS: L1 CLASS
WIDTH = 10'-0"
WIDTH = 5'-0"

PERIMETER PLANTING
1 TREE PER 45LF

PARKING LOT PLANTING
BUFFER REQUIREMENTS:
SHRUB SCREEN = 4'-6' HT
1 TREE PER 8 PARKING SPACES

LEGEND

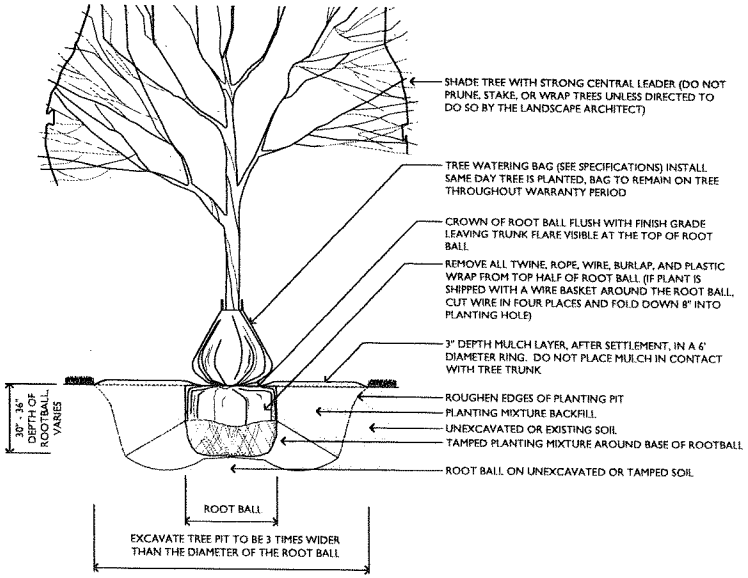
- SHADE TREE
- COLUMNAR/ORNAMENTAL TREE
- EVERGREEN HEDGE
- DETENTION BASIN MIX



1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

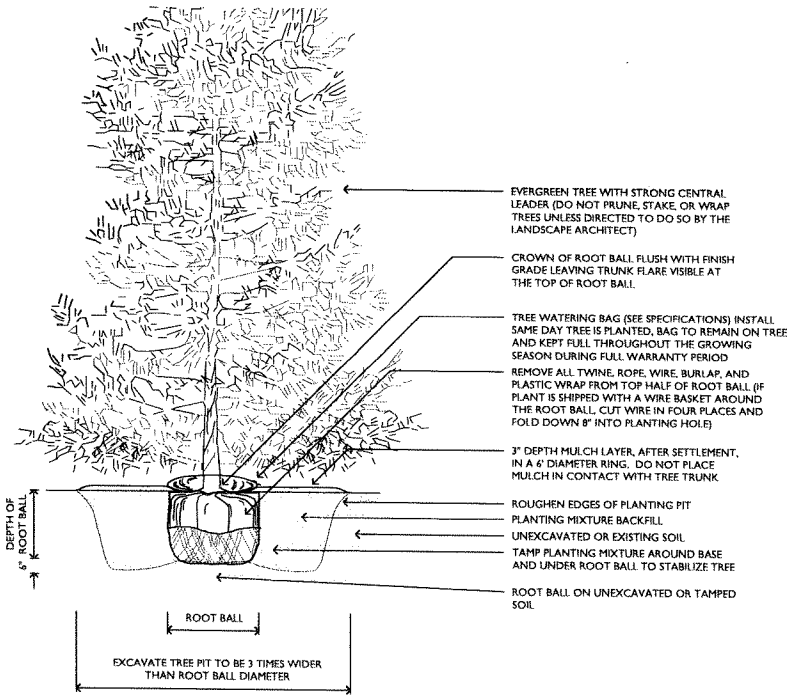
LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • HOUSING OPPORUNITY DEVELOPMENT CORPORATION SUB-AREA B DEVELOPER • ANTUNOVICH ASSOCIATES SUB-AREA A ARCHITECT • CORDOGAN CLARK SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

CONFLUENCE: GROUND LEVEL LANDSCAPE PLAN



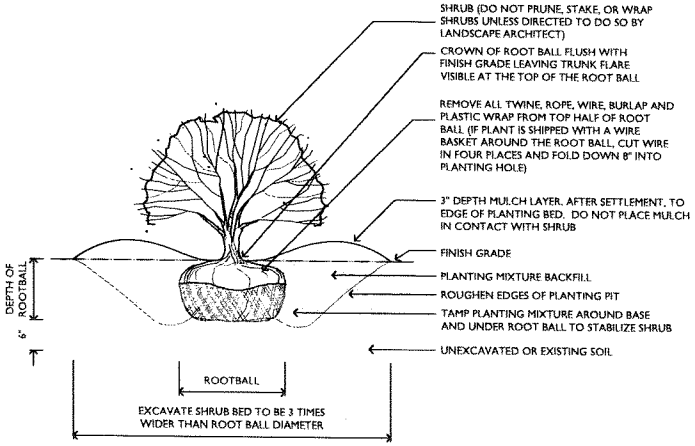
1 L400 DECIDUOUS TREE INSTALLATION, TYP

SCALE: 1/4"=1'-0"



2 L400 DECIDUOUS TREE INSTALLATION, TYP

SCALE: 1/4"=1'-0"



3 L400 SHRUB INSTALLATION, TYP

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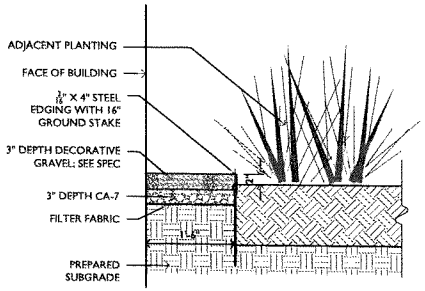


4 L400 DRAINAGE STRIP

SCALE: 1"=1'-0"

1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • HOUSING OPPORUNITY DEVELOPMENT CORPORATION SUB-AREA B DEVELOPER • ANTUNOVICH ASSOCIATES SUB-AREA A ARCHITECT • CORDOGAN CLARK SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

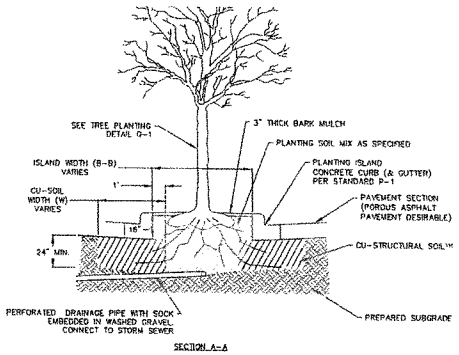
CONFLUENCE: GROUND LEVEL DETAILS

GROUND LEVEL PLANT PALETTE

PLANT LIST

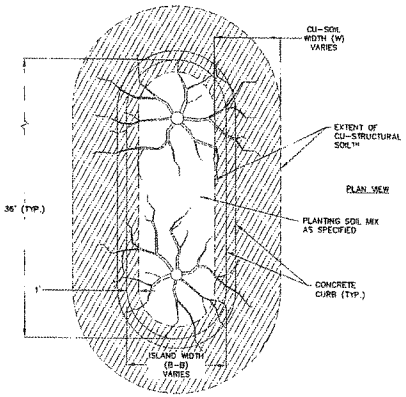
	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
TREES	RP	ROBINIA PSEUDOACACIA	BLACK LOCUST 'CHICAGO BLUES'	14	3"			B&B	SPACING PER PLAN
	GD	GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	11	3"			B&B	SPACING PER PLAN
	TA	TILIA AMERICANA	AMERICAN LINDEN 'AMERICAN SENTRY'	06	3"			B&B	SPACING PER PLAN
	LT	LIRIODENDRON TULIPIFERA	TULIP TREE	09	3"			B&B	SPACING PER PLAN
	UAJ	ULMUS AMERICANA JEFFERSON	JEFFERSON ELM	10	3"			B&B	SPACING PER PLAN
	QA	QUERCUS ALBA	WHITE OAK	11	3"			B&B	SPACING PER PLAN
	CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	07	3"			B&B	SPACING PER PLAN
	QRP	QUERCUS REGAL PRINCE	REGAL PRINCE OAK	16	3"			B&B	SPACING PER PLAN
	QM	QUERCUS MUEHLENBERGII	CHINQUAPIN OAK	08	3"	-		B&B	SPACING PER PLAN
	GK	GINKGO BILOBA	GINKGO 'AUTUMN GOLD'	07	3"	-		B&B	SPACING PER PLAN
	AMM	ACER MIYABEI 'MORTON'	STATE STREET MAPLE	10	3"	-		B&B	SPACING PER PLAN
	ZS	ZELKOVA SERRATA	ZELKOVA	05	3"	-		B&B	SPACING PER PLAN
	ULA	ULMUS AMERICANA	AMERICAN ELM	06	3"		-	B&B	SPACING PER PLAN
	LIS	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	XX	3"	-		B&B	SPACING PER PLAN
	QR	QUERCUS ROBUR 'FASTIGIATA'	FATIGIATE ENGLISH OAK	14	3"			B&B	SPACING PER PLAN
	QXW	QUERCUS X WAREI	KINDRED SPIRIT OAK	19	3"	-	-	B&B	SPACING PER PLAN
	CBF	CARPINUS BETULAS 'FASTIGIATA'	FASTIGIATE EUROPEAN HORNBEAM	XX	3"		-	B&B	SPACING PER PLAN
	AXF	ACER × FREEMANII	AUTUMN BLAZE MAPLE	12	3"	-		B&B	SPACING PER PLAN
ORN. TREES	HV	HAMAMELIS VIRGINIANA	WITCHHAZEL		-	6-10'		B&B	SPACING PER PLAN
	MS	MALUS SPECIES	CRABAPPLE		-	6-10'		B&B	SPACING PER PLAN
	SR	SYRINGA RETICULATA	JAPANESE TREE LILAC		-	6-10'		B&B	SPACING PER PLAN
	CEC	CERCIS CANDENSIS	EASTERN REDBUD		-	6-10'		B&B	SPACING PER PLAN
	AL	AMERLANCHIER LAEVIS	ALLEGHANY SERVICEBERRY		-	6-10'		B&B	SPACING PER PLAN
	CV	CRATAEGUS VIRIDIS	WINTER KING HAWTHORN		-	6-10'		B&B	SPACING PER PLAN
	JVC	JUNIPERUS VIRGINIANA 'CUPRESSIFOLIA'	HILLSPIRE JUNIPER		-	6-8'		B&B	SPACING PER PLAN
	TO	THUJA OCCIDENTALIS	ARBORVITAE		-	6-8'		B&B	SPACING PER PLAN
SHRUBS	AMU	ARONIA MELANOCARPA 'UCONNAM166'	LOW SCAPE HEDGER CHOKEBERRY		-		36"	#5	SPACING PER PLAN
	HAA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA		-		36"	#5	SPACING PER PLAN
	HAA	HYDRANGEA PANICULATA 'SMHPFL'	LITTLE QUICK FIRE HYDRANGEA				36"	#5	SPACING PER PLAN
	VCC	VIBURNUM CARLESII 'COMPACTUM'	DWARF KOREAN SPICE VIBURNUM				36"	#5	SPACING PER PLAN
	FXI	FORSYTHIA X INTERMEDIA	SHOW OFF FORSYTHIA		-		36"	#5	SPACING PER PLAN
	BXG	BUXUS X 'GLENCOE'	CHICAGOLAND GREEN BOXWOOD		-		36"	#5	SPACING PER PLAN
	BGM	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD			-	36"	#5	SPACING PER PLAN
	CSC	CORNUS SERICEA "CARDINAL"	RED TWIG DOGWOOD				36"	#5	SPACING PER PLAN
PERENNIALS/ ORN GRASS	MRM	MUHLENBERGIA CAPILLARIS REGAL MIST®	REGAL MIST® PINK MUHLY GRASS					#1	
	HM	HAKONECHLOA MACRA	JAPANESE FOREST GRASS					#1	SPACING PER PLAN
	ASB	ALLIUM 'SUMMER BEAUTY'	SUMMER BEAUTY ONION					#1	SPACING PER PLAN
	SH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED					#1	SPACING PER PLAN
	ASE	HOSTA 'FRANCES WILLIAMS'	FRANCES WILLIAMS HOSTA					#1	SPACING PER PLAN
	ACV	ASTILBE CHINENSIS 'VISIONS'	VISIONS ASTILBE					#1	SPACING PER PLAN
	DWH	DOLCE®HEUCHERA 'WILDBERRY'	DOLCE® WILDBERRY CORAL BELLS					#1	SPACING PER PLAN
	EOS	ECHINACEA PURPUREA 'PAS702917'	POWPOW WILD BERRY CONEFLOWER					#1	SPACING PER PLAN
	RUD	RUDBECKIA	BLACK-EYED SUSAN					#1	SPACING PER PLAN
GROUND COVER								#1	SPACING PER PLAN
								#1	SPACING PER PLAN
								#1	SPACING PER PLAN

NOTE:
1. QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO SECURING PLANT MATERIAL.
2. THE SPECIES, SIZES, AND SPACING INDICATED ON THE PLANT PALETTE ABOVE REPRESENTS A PROBABLE SELECTION OF POTENTIAL MATERIALS FOR PRICING PURPOSES ONLY. FINAL SELECTIONS TO BE DETERMINED.
3. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.
4. UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS WILL BE PREPARED BY THE TRADE CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT.
   A. TAGGING OF PLANT MATERIAL IN NURSERIES
   B. STAKING OF PLANT LOCATING ON SITE.
   C. DELIVERY OF PLAN MATERIAL ON SITE.
   D. PLANTING SCHEDULE.
5. ALL TREES SHALL BE TAGGED BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL PROVIDE A PHOTOGRAPH WITH SCALE FIGURE AND NURSERY LOCATION OF EACH TREE TYPE FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO SCHEDULINGOF TREE TAGGING VISITS.



NOTES:
1. ALLOWABLE TREE SIZE AT MATURITY IS 30 FEET IN HEIGHT
2. STRUCTURAL SOIL MAY BE CU-STRUCTURAL SOIL™ OR STALITE (FOR SANDY SOILS). TRADITIONAL CRUSHED LIMESTONE IS NOT PERMITTED FOR USE IN PARKING LOT ISLANDS THAT HAVE TREES PLANTED.
3. CU-STRUCTURAL SOIL SHALL BE OBTAINED FROM A LICENSED PRODUCER SUCH AS MIDWEST TRADING.
4. TREE SPECIES SHOULD BE CHOSEN THAT PREFER WELL DRAINED SOIL AND BE SUITABLE FOR THE EXPECTED pH OF THE CU-SOIL PROVIDED.
5. INITIAL WATERING SHOULD BE AT A RATE OF 20 GALLONS PER TREE, EVERY 5-7 DAYS.
6. SEE SHEET 2 FOR PLAN VIEW AND QUANTITIES.

1 L401 TYP. PARKING ISLAND TREE DETAIL



2 L401 TYP. PARKING ISLAND TREE PLAN

SOIL VOLUME FOR PARKING ISLAND

PARKING ISLAND	PLANTING SOIL VOLUME 36" DEPTH	CU-SOIL SOIL VOLUME 24" DEPTH
A	408 FT³	904 FT³
B	477 FT³	1010 FT³
C	225 FT³	538 FT³
D	912 FT³	608 FT³
E	912 FT³	608 FT³

N

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1657 SHERMER ROAD RESIDENTIAL DEVELOPMENT

LENNAR MULTIFAMILY COMMUNITIES SUB-AREA A DEVELOPER • HOUSING OPPORUNITY DEVELOPMENT CORPORATION SUB-AREA B DEVELOPER • ANTUNOVICH ASSOCIATES SUB-AREA A ARCHITECT • CORDOGAN CLARK SUB-AREA B ARCHITECT NORTHBROOK, ILLINOIS • JANUARY 10, 2023

CONFLUENCE: PLANT PALETTE AND GENERAL NOTES

DETENTION BASIN SEED MIX

by Prairie Moon® Nursery

9.39 lbs per acre | 295 Seeds per sq/ft

[illegible]

WILDFLOWERS	
Botanical Name (Common Name)	% by wt.
Alisma subcordatum (Mud Plantain)	1.33
Allium cernuum (Nodding Onion)	1
Ammannia coccinea (Scarlet Toothcup)	1
Anemone canadensis (Canada Anemone)	0.67
Angelica atropurpurea (Great Angelica)	3.99
Asclepias incarnata (Rose Milkweed)	2.66
Astragalus canadensis (Canada Milk Vetch)	0.67
Bidens cernua (Nodding Bur Marigold)	0.67
Boltonia asteroides (False Aster)	0.67
Eupatorium perfoliatum (Boneset)	0.5
Eupatorium maculatum (Joe Pye Weed)	0.67
Gentiana andrewsii (Bottle Gentian)	0.37
Gentiana flavida (Cream Gentian)	0.37
Helenium autumnale (Sneezeweed)	0.72
Helianthus helianthoides (Early Sunflower)	1.33
Hibiscus laevis (Rose Mallow)	3.99
Hypericum pyramidatum (Great St. John's Wort)	0.67
Iris virginica var. shrevei (Southern Blue Flag)	2.66
Liatris pycnostachya (Prairie Blazing Star)	3.33
Lobelia cardinalis (Cardinal Flower)	0.33
Lobelia siphilitica (Great Blue Lobelia)	1.33
Lycopus americanus (Water Horehound)	0.09
Mimulus ringens (Monkey Flower)	0.33
Oligoneuron rigidum (Stiff Goldenrod)	0.67
Persicaria punctata (Smartweed)	1
Physostegia virginiana (Obedient Plant)	0.72
Pycnanthemum virginianum (Mountain Mint)	0.67
Rudbeckia hirta (Black-eyed Susan)	2
Rudbeckia subtomentosa (Sweet Black-eyed Susan)	0.36
Rudbeckia triloba (Brown-eyed Susan)	1.33
Silphium laciniatum (Compass Plant)	0.67
Silphium perfoliatum (Cup Plant)	0.67
Silphium terebinthinaceum (Prairie Dock)	0.67
Symphyotrichum laeve (Smooth Blue Aster)	1.33
Thalictrum dasycarpum (Purple Meadow Rue)	2
Verbena hastata (Blue Vervain)	1.33
Vernonia fasciculata (Common Ironweed)	1.33
Veronicastrum virginicum (Culver's Root)	0.67
Zizia aurea (Golden Alexanders)	1.33
Totals of WILDFLOWERS:	**46.06%**

GRASSES, SEDGES & RUSHES	
Botanical Name (Common Name)	% by wt.
Andropogon gerardii (Big Bluestem)	6.66
Bromus ciliatus (Fringed Brome)	5.22
Calamagrostis canadensis (Blue Joint Grass)	0.35
Carex bicknellii (Copper-shouldered Oval Sedge)	1.33
Carex hystericina (Porcupine Sedge)	1.33
Carex stipata (Awl-fruited Sedge)	1.33
Carex vulpinoidea (Brown Fox Sedge)	3.33
Elymus canadensis (Canada Wild Rye)	10.65
Elymus virginicus (Virginia Wild Rye)	10.65
Glyceria grandis (Reed Manna Grass)	1.33
Juncus dudleyi (Dudley's Rush)	0.33
Juncus interior (Inland Rush)	0.29
Panicum virgatum (Switch Grass)	1.33
Scirpus atrovirens (Dark-green Bulrush)	0.72
Scirpus cyperinus (Wool Grass)	0.38
Scirpus validus (Great Bulrush)	0.72
Sorghastrum nutans (Indian Grass)	6.66
Spartina pectinata (Cord Grass)	1.33
Totals of GRASSES, SEDGES & RUSHES:	**53.94%**

1 L402 DETENTION BASIN SEED PLANTING LIST

GROWING YOUR PRAIRIE

SITE PREP & SEEDING

The first growing season should be dedicated to site preparation, a crucial first step to a successful planting. On this site, herbicide was applied three times spring through fall. After site preparation is complete, seed can be sown.

Year 1

MOWING

Keeping the site mowed to 4-8" during the first year of growth will control any remaining weeds, allow sunlight to reach the slow-growing perennials and promote strong root growth.

Year 2

PIONEER FLUSH

The season after planting there will only be a few native species that flower. This stage is known as the Pioneer Flush. It can take 3-5 years after planting for most perennials to bloom for the first time.

Year 3

DIVERSITY OF BLOOOMS

As time goes on, more and more perennial wildflowers will start to bloom.

Year 4

2 L402 3 YEAR MAINTENANCE PLAN FOR DETENTION BASIN

NOTES:
IN YEAR 3, HAND PULL WEEDS AS NEEDED

Detention Basin Maintenance Tasks and Schedule

Tasks / Components	Detention Basin Side-Slopes	Detention Basin Bottom	Detention Basin Inlets	Detention Basin Outlet or Outflow Control Structures	Catch Basin Inlets	Catch Basin Sumps	Storm Sewer System	Schedule
Inspect for sediment accumulation		●	●	●	●	●	●	Annually
Remove sediment accumulation		●	●	●	●	●	●	Every 5-10 years as needed
Inspect for debris (dead vegetation and trash)	●	●	●	●	●	●	●	Early spring, fall and after major storms
Clean debris	●	●	●	●	●	●	●	As needed
Inspect for erosion on banks and bottom	●	●	●	●				Early spring, fall and after major storms
Reestablish permanent vegetation on eroded slopes	●	●						As needed
Rake out dead vegetation			●	●				Annually - early spring
Inspect for and remove purple loosestrife	●	●	●	●				Annually - July
Replace stone rip-rap			●	●				Every 3-5 years as needed
Mowing	●	●						0 to 2 times per year
Inspect structural elements during wet weather and compare to as-built plans (by a professional engineer reporting to Homeowners' Association)			●	●			●	Annually
Make adjustments or replacements as determined by annual wet weather inspection		●	●	●			●	As needed
Keep records of all inspections and maintenance activities and report to Homeowners' Association	●	●	●	●	●	●	●	Annually
Keep records of all costs for inspections, maintenance and repairs. Report to Homeowners' Association	●	●	●	●	●	●	●	Annually
Homeowners' Association to have a professional engineer carry out emergency inspections upon identification of severe problems	●	●	●	●	●	●	●	As needed

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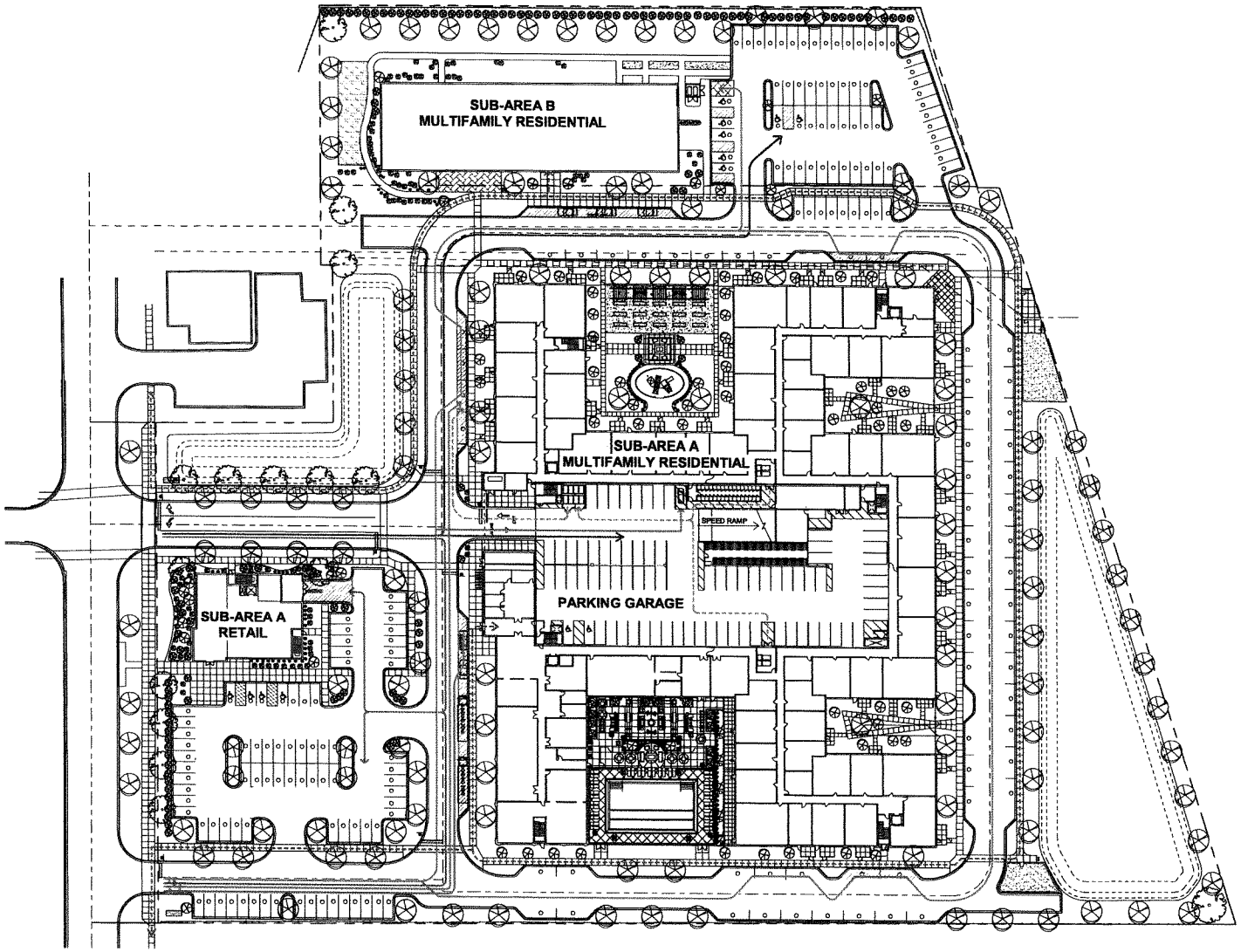
CONFLUENCE: PLANT PALETTE AND GENERAL NOTES

CIRCULATION PATHS FOR VEHICLE AND PEDESTRIAN	
LINE STYLE	DESCRIPTION
	RESIDENTIAL CAR
	RESIDENTIAL MOVING
	PARCEL DELIVERY AND AMAZON TRUCK
	RETAIL CAR AND SUPPLY TRUCK
	GARBAGE TRUCK
	PEDESTRIAN
	MAINTENANCE TRASH



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VEHICULAR AND PEDESTRIAN CIRCULATION PLAN

PRELIMINARY ENGINEERING PLANS

FOR

1657 SHERMER

NORTHBROOK, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

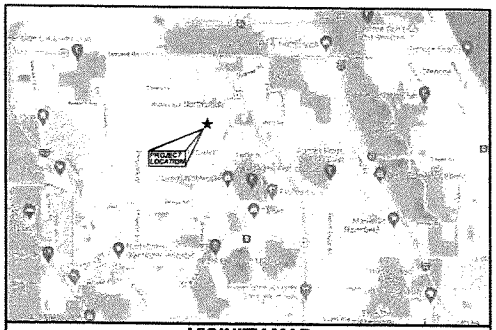
Lennar Multifamily Communities, L.L.C.
1300 E. Woodfield Road, Suite 304
Schaumburg, Illinois 60173
312 342 7704
Contact: Jeff Woll

ENGINEER

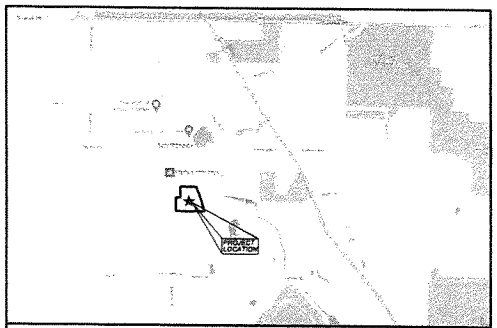
V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Ryan Wagner, P.E. LEED AP
rwagner@v3co.com
Project Engineer: Matt Vogel
mvogel@v3co.com

ARCHITECT

Antunovich Associates
224 West Huron Street Suite 7E
Chicago, IL 60654
312 266 1126
Contact: Sarah Nelson



VICINITY MAP
NO SCALE



LOCATION MAP
NO SCALE

INDEX

CIVIL ENGINEERING PLANS

C0.0	TITLE SHEET
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C1.1	SPECIFICATIONS
C2.0	DEMOLITION PLAN
C3.0	PRELIMINARY SITE LAYOUT AND PAVING PLAN
C4.0	PRELIMINARY GRADING PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS

SUPPORTING DOCUMENTS

1 of 2	ALTA/NSPS LAND AND TOPOGRAPHIC SURVEY
1/1	TREE SURVEY

BENCHMARKS

SOURCE: BENCHMARKS ESTABLISH VIA TRIMBLE VRS NETWORK.
DATUM IS NAVD88.

SITE:

STATION DESIGNATION: SBMP1
ESTABLISHED BY: V3
DATE: 05-19-22

ELEVATION: 844.40 (MEASURED)
DATUM: NAVD88
DESCRIPTION: SOUTHEAST ARROW ON FIRE HYDRANT ON THE EAST SIDE OF SHERMAN ROAD, NEAR THE NORTHWEST CORNER OF SURVEYED PROPERTY.

STATION DESIGNATION: SBM #2
ESTABLISHED BY: V3
DATE: 05-19-22

ELEVATION: 847.11 (MEASURED)
DATUM: NAVD88
DESCRIPTION: SQUARE CUT AT THE NORTHEAST CORNER OF CONCRETE WALL NEAR THE SOUTHEAST CORNER OF SURVEYED PROPERTY.

THE ELEVATIONS ABOVE WERE KNOWN TO BE ACCURATE AT THE TIME THEY WERE ESTABLISHED. V3 DOES NOT CERTIFY TO THE ACCURACY THEREAFTER, NOR ASSUMES RESPONSIBILITY FOR THE MIS-USE OR MIS-INTERPRETATION OF THE INFORMATION SHOWN HEREON.

IT IS ADVISED THAT ALL OF THE ABOVE ELEVATIONS BE CHECKED BETWEEN EACH OTHER AND VERIFY A MINIMUM OF 3 SURROUNDING UTILITY RIM ELEVATIONS AND ANY ADJACENT BUILDING FINISHED FLOOR OR TOP OF FOUNDATION ELEVATIONS SHOWN HEREON PRIOR TO USE OR COMMENCEMENT OF ANY CONSTRUCTION OR OTHER WORK.

PERSONS USING THIS INFORMATION ARE TO CONTACT V3 IMMEDIATELY WITH ANY DISCREPANCIES FOUND PRIOR TO THE START OF ANY WORK.

Call Before You Dig
JULIE
800.892.0123
Call 48 hours before you dig

Joint Utility Locating Information for Excavators

PROFESSIONAL ENGINEER'S CERTIFICATION

I, RYAN WAGNER, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THE CIVIL ENGINEERING PLANS WERE PREPARED ON BEHALF OF LENNAR MULTIFAMILY COMMUNITIES, LLC BY V3 COMPANIES, LTD. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS _____DAY OF_____, A.D., 2022.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-062713
MY LICENSE EXPIRES ON NOVEMBER 30, 2023

ILLINOIS LICENSED DESIGN FIRM NO. 184-000902

REVISIONS

NO.	DATE	DESCRIPTION
1	08-26-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	10-10-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO: 220603
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

TITLE SHEET

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

DRAWING NO.
C0.0

GENERAL NOTES

1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:

   V3 COMPANIES, LTD.
   7325 JANES AVENUE
   WOODRIDGE, IL 60517

   COPIES OF THE SURVEY ARE AVAILABLE FROM THE SURVEYOR. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

2. ALL EXISTING TOPOGRAPHY, UNDERGROUND UTILITIES, STRUCTURES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS. THEREFORE, THEIR LOCATIONS AND ELEVATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.

3. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.

4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.

5. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS V3 COMPANIES LTD., THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER WHILE ACTING WITHIN THE SCOPE OF THEIR DUTIES FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, HIS AGENTS, THE ENGINEER, HIS EMPLOYEES AND AGENTS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER OF THE ROADWAY.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. BARRICADES AND WARNING SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS. ALL TRAFFIC CONTROL WORK SHALL BE DONE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."

8. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:

   a. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS PREPARED BY IDOT, LATEST EDITION.

   b. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.

   c. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA. LATEST EDITION.

   d. THE LATEST EDITIONS OF THE MUNICIPAL CODE AND STANDARDS OF THE VILLAGE OF NORTHBROOK.

   e. THE NATIONAL ELECTRIC CODE.

   f. THE ILLINOIS ACCESSIBILITY CODE.

   g. CLEAN CONSTRUCTION OR DEMOLITION DEBRIS (CCDD) REQUIREMENTS AS PUBLISHED BY THE IEPA. TESTING OF SOILS BEING EXPORTED FROM THE SITE AND APPROPRIATE DISPOSAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

   IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITE WORK ISSUES DESIGNED BY THE ENGINEER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

9. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO COMMENCING ANY WORK AND FOR ANY NEW CONSTRUCTION REQUIRING INSPECTION.

10. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION AND SHALL BE PROTECTED PER IDOT STANDARDS. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM DAMAGE INCLUDING TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.

11. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT ACCUMULATION OF MUD OR SOIL ON PUBLIC THOROUGHFARES. AT THE END OF EACH DAY AND AS OFTEN AS OTHERWISE NECESSARY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.

12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS WHERE HIS/HER OPERATIONS ABUT PUBLIC THOROUGHFARES AND ADJACENT PROPERTY IN ACCORDANCE WITH THE VILLAGE OF NORTHBROOK MUNICIPAL CODE AND IDOT REQUIREMENTS.

13. NO HOLES ARE TO BE LEFT OPEN IN THE PAVEMENT OR PARKWAY OVER A HOLIDAY, WEEKEND OR AFTER 3:00 P.M. ON THE DAY PRECEDING A HOLIDAY OR A WEEKEND.

14. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.

15. REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AS PART OF THE BASE CONTRACT.

16. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.

17. FOR REGULATED UTILITY LOCATIONS, THE CONTRACTOR SHALL CONTACT THE JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS, "J.U.L.I.E." AT 1-800-892-0123. LOCAL GOVERNMENT AGENCIES SHOULD BE CONTACTED BY THE CONTRACTOR FOR LOCATION OF ALL NONREGULATED UTILITY LOCATIONS. CALL FOR LOCATES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION.

18. BEFORE EXCAVATING OVER OR ADJACENT TO ANY EXISTING UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER OF SUCH UTILITIES TO ENSURE THAT PROTECTIVE WORK WILL BE COORDINATED AND PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER OF THE UTILITY INVOLVED. IF ANY EXISTING SERVICE LINES, UTILITIES AND UTILITY STRUCTURES WHICH ARE TO REMAIN IN SERVICE ARE UNCOVERED OR ENCOUNTERED DURING THIS OPERATION, THEY SHALL BE SAFEGUARDED, PROTECTED FROM DAMAGE AND SUPPORTED IF NECESSARY.

19. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL AS DETAILED IN THE STORM WATER POLLUTION PREVENTION PLAN.

21. ALL CURB RADII REFER TO BACK OF CURB.

22. ANY AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED IN CONFORMANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE INCIDENTAL TO THE CONTRACT.

23. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND IF DAMAGED, SHALL BE REPLACED PROMPTLY IN CONFORMANCE WITH THE MUNICIPALITY OR IDOT STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.

24. PROPOSED ELEVATIONS INDICATE FINISHED CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THICKNESS OF PROPOSED PAVING (ROADS, WALKS, DRIVES, ETC.) OR TOPSOIL AS INDICATED ON DRAWINGS.

25. CAD FILES ARE AVAILABLE FOR CONSTRUCTION LAYOUT UPON REQUEST.

26. BACKFILL SHALL BE PLACED NEXT TO THE CURB AS SOON AS PERMISSIBLE AFTER CONSTRUCTION TO PREVENT SCOURING AND UNDERCUTTING BY STORM WATER RUNOFF.

27. BUTT JOINTS SHALL BE PROVIDED WHEREVER NEW PAVEMENT ABUTS EXISTING PAVEMENT. ALL BUTT JOINTS SHALL BE CONSTRUCTED BY MILLING AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE BITUMINOUS SURFACE COURSE.

28. WHEN AN EXISTING DRAINAGE ROUTE, EITHER A STORM SEWER OR WATERWAY, IS INTERRUPTED DUE TO CONSTRUCTION, THE DRAINAGE ROUTE SHALL BE REESTABLISHED TO ORIGINAL CONDITIONS BY THE END OF THE SAME WORK DAY. POSITIVE DRAINAGE MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

29. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.

30. FINAL ADJUSTMENT OF FIRE HYDRANTS, VALVE VAULTS AND MANHOLES TO FINISHED GRADE ARE INCIDENTAL TO THEIR COST.

31. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT ARE TO BE ADJUSTED OR RECONSTRUCTED BY THE CONTRACTOR TO THE UTILITY OWNER'S SATISFACTION. ADJUSTMENTS OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

32. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND TO THE SATISFACTION OF THE UTILITY OWNER.

33. PROVIDE TRENCH BACKFILL IN ACCORDANCE WITH THE DETAILS OF THE PLANS FOR ALL UTILITY LINES (OR AS OTHERWISE NOTED ON PLANS). BACKFILL SHALL BE PLACED AND COMPACTED PER THE MUNICIPALITY AND IDOT SPECIFICATIONS. COST OF BACKFILL IS TO BE CONSIDERED INCIDENTAL TO THE UTILITY WORK.

34. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

35. PRIOR TO DEMOBILIZATION, ALL WORK SHALL BE CLEANED AND INSPECTED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

36. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

37. BAND-SEAL CONNECTORS OR EQUIVALENT SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIAL.

38. CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL CONSTRUCTION IN CONFORMANCE WITH ALL MUNICIPAL AND CLIENT REQUIREMENTS FOR USE IN PREPARING RECORD DRAWINGS.

39. THE SUBCONTRACTOR SHALL INSTALL A 2"x4"x6' POST ADJACENT TO THE TERMINUS OF UTILITY MAINS AND SERVICE LINES. POSTS SHALL BE MARKED IN ACCORDANCE WITH THE VILLAGE STANDARDS.

40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION. ANY DEWATERING REQUIRED SHALL BE INCIDENTAL TO THE CONTRACT.

41. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS REQUIRED IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.

42. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY AS DETERMINED BY THE ENGINEER. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE SUBCONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT. ALL FIELD TILE REPAIRS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED.

43. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS/HER WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
	x x	FENCE LINE
		CENTERLINE
		PROPERTY CORNER
710	710	CONTOUR
		CURB & GUTTER
		DEPRESSED CURB & GUTTER
		REVERSE PITCHED CURB
x 705.00	x 708.0	SPOT ELEVATION
203.65 / 203.55	782.62 / 782.12	*TOP OF CURB ELEVATION / EDGE OF PAVEMENT ELEVATION*
		UTILITY STUB
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
W	W	WATER MAIN
G	G	GAS MAIN
T/E	T/E	UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK
E	E	BURIED CABLE-ELECTRIC
T	T	BURIED CABLE-TELEPHONE
		ATLAS LOCATED UTILITY
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		POST INDICATOR VALVE
		THRUST BLOCK
		TREE
		TREE LINE
		CONCRETE HEADWALL
		SUBMERGED HEADWALL
		FLARED END SECTION (F.E.S.)
		GUY WIRES
		FLOOD LIGHT
		UTILITY POLE
		LIGHT STANDARD
		TRAFFIC SIGNAL POLE
		HAND HOLE
		SOIL BORING
		IRRIGATION HEADS
		SIGN
		TELEPHONE MANHOLE
		MONITORING WELL
		TELEPHONE PEDESTAL
		TRANSFORMER PAD
		UTILITY TO BE ABANDONED
		FEATURE TO BE REMOVED
		STORMWATER FLOW DIRECTION
		STORMWATER OVERFLOW ROUTE
		DITCH CHECK
		INLET FILTER BASKET
		RIP RAP
		BOLLARD
SF	SF	SILT FENCE
		WATER MAIN PROTECTION
C01	C01	UTILITY CROSSING LABEL
		GUARDRAIL
		RAILROAD TRACKS
		RETAINING WALL
		REVISION DELINEATION
CLL	CLL	CONSTRUCTION LIMIT LINE
		TREE PROTECTION FENCE

ABBREVIATIONS

A	ARC LENGTH
B-B	BACK TO BACK OF CURB
B/C	BACK OF CURB
BLDG	BUILDING
BM	BENCHMARK
B/P	BOTTOM OF PIPE
BV/VV	BUTTERFLY VALVE IN VALVE VAULT
C & G	CURB AND GUTTER
CB	CATCH BASIN
℄	CENTERLINE
CL	CLOSED LID
CO	CLEAN OUT
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
DIWM	DUCTILE IRON WATER MAIN
DWG	DRAWING
E	EAST OR ELECTRIC OR EDGE
EJ	EXPANSION JOINT
ELEV	ELEVATION
E/P	EDGE OF PAVEMENT
EX	EXISTING
F & CL	FRAME & CLOSED LID
F & G	FRAME & GRATE
F & OL	FRAME & OPEN LID
FES	FLARED END SECTION
F-F	FACE TO FACE OF CURB
FF	FINISHED FLOOR
F/G	FINISHED GRADE
FH	FIRE HYDRANT
F/L	FLOW LINE
G	GAS LINE
GV/VB	GATE VALVE IN VALVE BOX
GV/VV	GATE VALVE IN VALVE VAULT
HDCP	HANDICAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HDW	HEADWALL
HOR	HORIZONTAL
HP	HIGH POINT
HWL	HIGH WATER LEVEL
IE	INVERT ELEVATION
IN	INLET
LF	LINEAL FEET
LP	LOW POINT OR LIGHT POLE
L	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MW	MONITORING WELL
N	NORTH
NIC	NOT IN CONTRACT / NOT INCLUDED
NWL	NORMAL WATER LEVEL
OC	ON CENTER
OL	OPEN LID
PC	POINT OF CURVATURE
PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POINT OF VERTICAL CURVATURE OR POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS OR RIGHT
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
S	SLOPE OR SOUTH
SAN	SANITARY
SF	SILTATION FENCE
SFM	SANITARY FORCE MAIN
SHT	SHEET
SHW	SUBMERGED HEADWALL
SMH	SANITARY MANHOLE
STA	STATION
ST	STORM STRUCTURE OR STORM SEWER
STMH	STORM MANHOLE
T	TANGENT LENGTH OR TELEPHONE
T/C	TOP OF CURB
T/P	TOP OF PIPE
T/W	TOP OF WALL
TY	TYPE
TYP	TYPICAL
UP	UTILITY POLE
VC	VERTICAL CURVE
VERT	VERTICAL
VCP	VITRIFIED CLAY PIPE
W	WEST
WM	WATER MAIN

REVISIONS

NO.	DATE	DESCRIPTION
1	09-29-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	10-13-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO: 220603
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

GENERAL NOTES, LEGEND AND ABBREVIATIONS

1657 SHERMER

NORTHBROOK — ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

DRAWING NO.
C1.0

EARTHWORK

1. THE GRADING OPERATIONS ARE TO BE INSPECTED BY A THIRD PARTY SOILS ENGINEER. THE CONTRACTOR'S REPRESENTATIVE MUST BE NOTIFIED PRIOR TO ANY UNSUITABLE SOIL REMOVAL AND MUST APPROVE, IN WRITING, ANY REMEDIATION. BOTH THE CONTRACTOR AND SOILS ENGINEER MUST BE PRESENT DURING REMEDIATION.

2. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF 6 INCHES OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED, UNLESS OTHERWISE NOTED. AREAS IN DETENTION FACILITIES NOTED TO BE ESTABLISHED WITH NATIVE VEGETATION SHALL REQUIRE A MINIMUM OF 12 INCHES OF TOPSOIL. REFER TO PLANTING PLANS TO VERIFY TOPSOIL THICKNESS REQUIREMENTS.

3. THE SURFACE VEGETATION, TOPSOIL, TRANSITIONAL MATERIAL, AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHALL BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE IS FOUND TO BE UNSUITABLE FOR PROPER COMPACTION, CONTRACTOR TO CONSULT WITH SOILS ENGINEER PRIOR TO REMEDIATION.

4. EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, BUILDING AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER, THE AUTHORITY HAVING JURISDICTION, AND THE CONTRACTOR.

5. ALL PAVEMENT SUBGRADE SHALL MEET THE REQUIREMENTS DETERMINED BY THE SOILS ENGINEER AND DOCUMENTED IN THE GEOTECHNICAL REPORT. IF AREAS OF PAVEMENT SUBGRADE ARE ENCOUNTERED WHICH DO NOT MEET THESE REQUIREMENTS, SUBGRADE REPLACEMENT OR PAVEMENT DESIGN REVISIONS SHALL BE PROVIDED WHICH ARE ADEQUATE TO OBTAIN EQUIVALENT PAVEMENT STRENGTH AS DETERMINED BY THE ENGINEER, SOILS ENGINEER, AND THE AUTHORITY HAVING JURISDICTION.

6. COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND OPEN SPACE AREAS SHALL BE WITHIN A 0.1' TOLERANCE OF DESIGN SUBGRADE.

7. THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE SUBCONTRACTOR IN THE PRESENCE OF THE JURISDICTIONAL INSPECTOR, CONTRACTOR, AND SOILS ENGINEER.

8. BORROW PIT LOCATION(S) SHALL BE APPROVED BY THE OWNER, ENGINEER, AND GEOTECHNICAL ENGINEER.

SANITARY SEWER

1. SANITARY SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:

   A. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3241 WITH AN SDR OF 26 WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.

   B. DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).

2. MANHOLES SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "SEWER".

3. ALL SANITARY SEWER SHALL BE TESTED FOR LEAKAGE AND DEFLECTION IN ACCORDANCE WITH SECTION 31-1.12 AND 31-1.13 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

4. ALL SANITARY MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS IN ACCORDANCE WITH ASTM C969 OR ATSM C1244.

5. CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. IF THE LOCAL JURISDICTION HAS MORE STRINGENT TESTING REQUIREMENTS THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENTS. THE COST SHALL BE INCIDENTAL TO THE CONTRACT.

WATERMAIN DISTRIBUTION SYSTEM

1. WATER MAIN SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIAL AS SPECIFIED ON THE PLANS:

   A. DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.51, AWWA C-151 WITH CEMENT LINING CONFORMING TO ANSI A21.4, AWWA C-104 AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11, AWWA C-111. FITTINGS SHALL COMPLY WITH ANSI A21.10, AWWA C110. ALL DUCTILE IRON PIPE SHALL BE WRAPPED IN POLYETHYLENE IN ACCORDANCE WITH AWWA C105.

   B. POLYVINYL CHLORIDE PIPE, PVC CONFORMING TO ASTM C-900, WITH ELASTOMETRIC GASKET JOINTS CONFORMING TO ASTM D3139.

   C. WATER SERVICE LINES SHALL BE CONSTRUCTED OF CLASS K COPPER.

2. MINIMUM COVER OVER WATER MAIN SHALL BE 5' - 8' FROM FINISHED GRADE TO TOP OF PIPE.

3. VALVE VAULTS SHALL BE USED AT ALL VALVE LOCATIONS WHERE WATER MAIN IS 8" DIAMETER OR LARGER. VAULTS SHALL BE PRECAST CONCRETE STRUCTURES, WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL SHEETS). LIDS SHALL BE IMPRINTED "WATER".

4. THRUST BLOCKING OR RESTRAINED JOINTS SHALL BE INSTALLED ON WATER MAINS AT ALL BENDS, TEES, ELBOWS, ETC. AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. COST OF SAME SHALL BE INCIDENTAL TO THE UNIT PRICE FOR PIPE INSTALLED.

5. WATER MAIN FITTINGS (BENDS, ELBOWS, TEES, INCREASES, REDUCERS, ETC.) MAY OR MAY NOT BE SPECIFICALLY REFERENCED ON THE CONSTRUCTION PLANS. THEY ARE TO BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE LINEAL FOOTAGE COST OF THE WATER MAIN.

6. ALL WATER LINES ARE TO BE PRESSURE TESTED AND CHLORINATED PER THE REQUIREMENTS OF THE MUNICIPALITY AND THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.

STORM SEWER

1. STORM SEWERS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:

   A. REINFORCED CONCRETE PIPE (RCP) IN CONFORMANCE WITH IDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C-361, UNLESS OTHERWISE NOTED.

   B. POLYVINYL CHLORIDE PLASTIC SEWER PIPE (PVC) CONFORMING TO ASTM D3034 WITH ELASTOMERIC GASKETED JOINTS CONFORMING TO ASTM D3212.

   C. HIGH DENSITY POLYETHYLENE PIPE, HDPE, CONFORMING TO ASTM D3350 WITH ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.

   D. DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151) WITH JOINTS CONFORMING TO ANSI 21-11 (AWWA C-111).

2. STORM SEWER STRUCTURES SHALL BE PRECAST OF THE TYPE AND DIAMETER AS SPECIFIED IN THE PLANS WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION DETAIL). LIDS SHALL BE IMPRINTED "STORM".

COOK COUNTY HIGHWAY DEPARTMENT GENERAL NOTES FOR WORK WITHIN COUNTY LINE ROAD:

1. DURING CONSTRUCTION OF PROPOSED IMPROVEMENTS ALONG COUNTY LINE ROAD, TWO-WAY TRAFFIC TO BE MAINTAINED AT ALL TIMES. IF ANY CONSTRUCTION ACTIVITY REQUIRES ENCROACHMENT INTO A TRAFFIC LANE, THAT TEMPORARY LANE CLOSURE SHALL BE RESTRICTED WITHIN THE HOURS OF 9:00 AM TO 3:00 PM FOLLOWING THE APPLICABLE IDOT AND IDOT-DISTRICT 1 TRAFFIC CONTROL STANDARDS.

2. IF ANY EXISTING PAVEMENT MARKINGS AND/OR SIGNAGE ALONG COUNTY LINE ROAD ARE DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS, THE CONTRACTOR SHALL REPLACE THE DAMAGED TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF COOK COUNTY HIGHWAY DEPARTMENT PER IDOT AND IDOT-DISTRICT 1 STANDARDS FOR TRAFFIC CONTROL PAVEMENT MARKINGS AND SIGNAGE.

3. TRENCH BACKFILL MEETING THE REQUIREMENTS OF 208.02 OF THE IDOT STANDARD SPECIFICATIONS IS REQUIRED FOR ANY OPEN UTILITY TRENCHES WITHIN COUNTY RIGHT-OF-WAY.

4. ALL DISTURBED AREAS WITHIN COUNTY LINE ROAD ROW TO BE RESTORED WITH 4" TOPSOIL AND SOD. CONTRACTOR TO WATER SOD AS NEEDED UNTIL ESTABLISHED

IEPA CROSSING REQUIREMENTS

1. <u>HORIZONTAL SEPARATION:</u>

   A. WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICE CONNECTION.

   B. WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN:
      I. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
      II. THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND
      III. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

   I. BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 653.111 WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

2. <u>VERTICAL SEPARATION:</u>

   A. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OR ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.

   B. BOTH THE WATERMAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING REQUIREMENTS OF SECTION 653.111 WHEN:
      I. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 9A) ABOVE; OR
      II. THE WATERMAIN PASSES UNDER A SEWER DRAIN.

   C. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATERMAIN.

   D. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

PAVING

1. BASE COURSE SHALL BE AGGREGATE BASE COURSE, CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).

2. SURFACE COURSE AND BINDER COURSE SHALL BE HOT-MIX ASPHALT (HMA) CONFORMING TO IDOT STANDARD SPECIFICATIONS (SEE PLANS FOR THICKNESS).

3. CURB & GUTTER AND SIDEWALK SHALL BE CLASS SI PORTLAND CEMENT CONCRETE CONFORMING TO IDOT STANDARD SPECIFICATIONS.

4. SUBGRADE SHALL BE FINISHED TO BE WITHIN 0.1 FEET OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING FOR PAVEMENTS AND SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.

5. AGGREGATE BASE COURSES SHALL BE PRIMED AT THE RATE OF 0.25 TO 0.50 GALLONS PER SQUARE YARD AND BRICK, CONCRETE, OR HMA BASES SHALL BE PRIMED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD WITH LIQUID ASPHALT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS AND APPROPRIATE FOR PREVAILING WEATHER AND SITE CONDITIONS. PRIME COAT AND CLEANING THE EXISTING SURFACE SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.

6. PAVEMENT SHALL BE CONSTRUCTED ON A THOROUGHLY COMPACTED SUBGRADE MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT. PRIOR TO PLACEMENT OF THE NEW PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK (MINIMUM 20 TONS). PROOF ROLLING SHALL BE WITNESSED BY THE GEOTECHNICAL CONSULTANT.

7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS AND ¼ INCH PREMOLDED FIBER EXPANSION JOINTS SHALL BE SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSIDERED TO BE ACCESSIBLE ROUTES AS DEFINED BY THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE SUBJECT TO ILLINOIS ACCESSIBILITY CODE (IAC) REQUIREMENTS, UNLESS OTHERWISE NOTED.

8. TESTING OF THE SUBBASE, BASE COURSE, BINDER COURSE, SURFACE COURSE, AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED TO PERFORM THE REQUIRED TESTS.

9. ASPHALT JOINTS FOR BINDER AND SURFACE COURSES ARE TO BE STAGGERED.

REVISIONS

ORIGINAL ISSUE DATE: JULY 29, 2022

NO.	DATE	DESCRIPTION
1	09-09-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	10-10-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

PROJECT NO. 220803
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

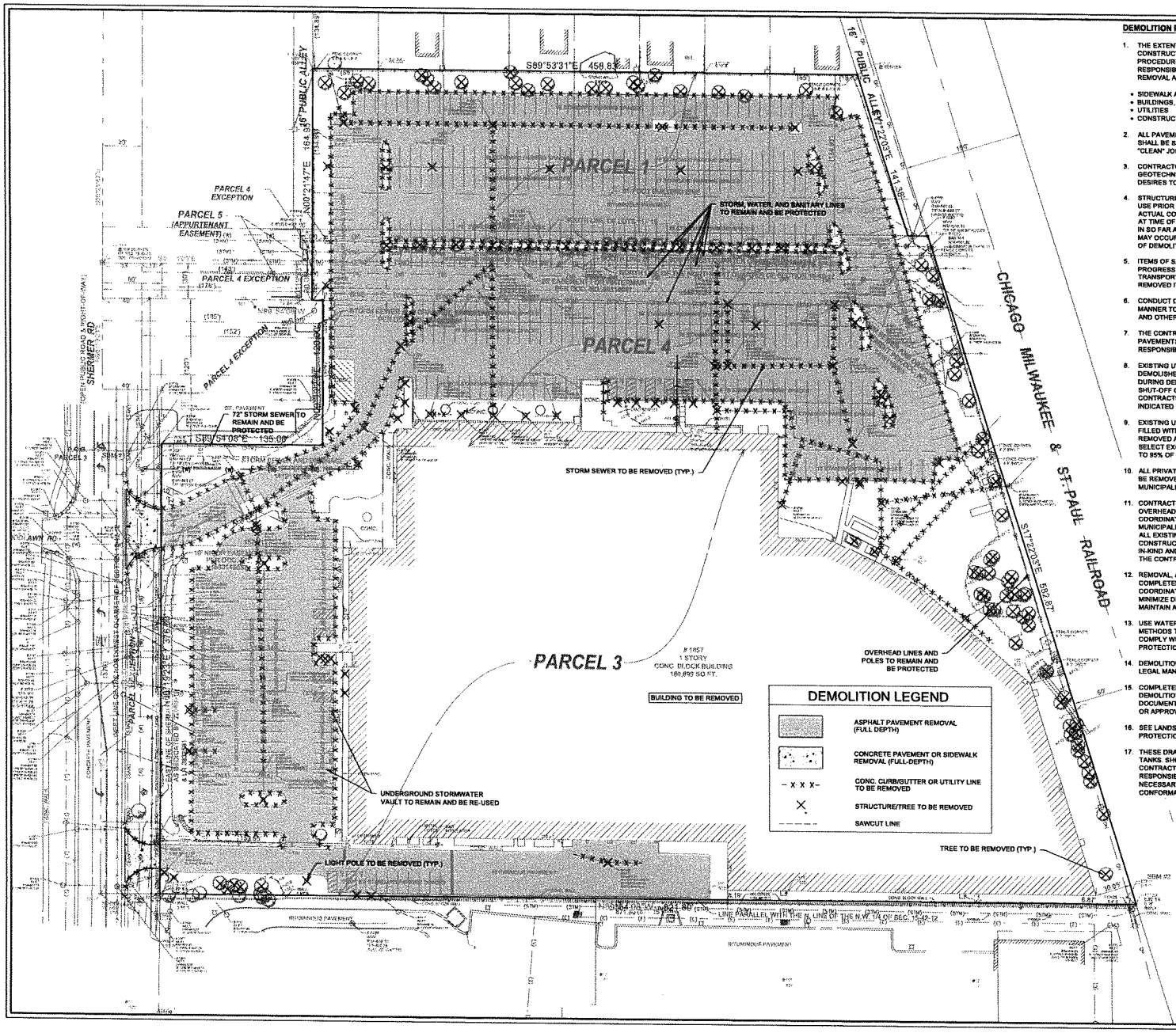
SPECIFICATIONS

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.vdss.com

DRAWING NO.
C1.1



DEMOLITION PLAN

1. THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
   - SIDEWALK AND ON-SITE PAVEMENT
   - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
   - UTILITIES
   - CONSTRUCTION DEBRIS
2. ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
3. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
4. STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
5. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
8. EXISTING UTILITIES, WHICH DO NOT SOLEY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
9. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
10. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
11. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. REMOVAL, ABANDOMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
13. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
16. SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
17. THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.

ORIGINAL ISSUE DATE: JULY 28, 2022

REVISIONS

NO.	DATE	DESCRIPTION
1	08-29-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	10-19-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

PROJECT NO. 220603
PROJECT MANAGER: AVV
DESIGNED BY: MV
DRAWN BY: BD

DEMOLITION PLAN

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.vlsc.com

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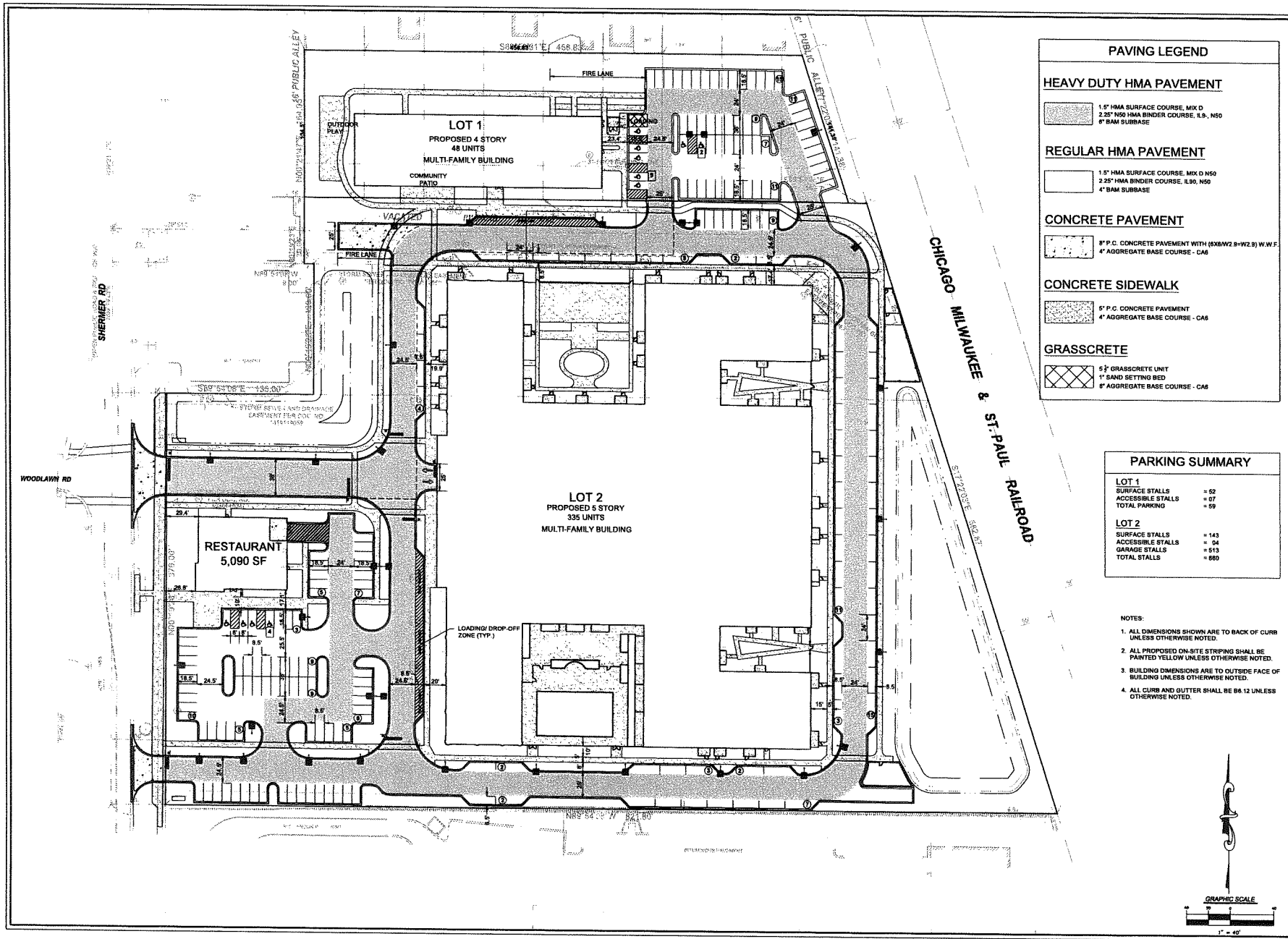

PAVING LEGEND

HEAVY DUTY HMA PAVEMENT

1.5" HMA SURFACE COURSE, MIX D
2.25" N50 HMA BINDER COURSE, IL9-, N50
6" BAM SUBBASE

REGULAR HMA PAVEMENT

1.5" HMA SURFACE COURSE, MIX D N50
2.25" HMA BINDER COURSE, IL90, N50
4" BAM SUBBASE

CONCRETE PAVEMENT

8" P.C. CONCRETE PAVEMENT WITH (6X6/W2.9=W2.9) W.W.F.
4" AGGREGATE BASE COURSE - CA6

CONCRETE SIDEWALK

5" P.C. CONCRETE PAVEMENT
4" AGGREGATE BASE COURSE - CA6

GRASSCRETE

5 1/2" GRASSCRETE UNIT
1" SAND SETTING BED
8" AGGREGATE BASE COURSE - CA6

PARKING SUMMARY

LOT 1	
SURFACE STALLS	= 52
ACCESSIBLE STALLS	= 07
TOTAL PARKING	= 59

LOT 2	
SURFACE STALLS	= 143
ACCESSIBLE STALLS	= 04
GARAGE STALLS	= 513
TOTAL STALLS	= 660

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

REVISIONS

ORIGINAL ISSUE DATE: JULY 29, 2022

NO.	DATE	DESCRIPTION
1	08-19-22	ISSUE FOR SCHEMATIC DESIGN
2	10-14-22	ISSUE FOR 50% CD
3	10-13-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

PROJECT NO. 220603
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

PRELIMINARY SITE LAYOUT AND PAVING PLAN

1657 SHERMER

NORTHBROOK ILLINOIS

7325 James Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

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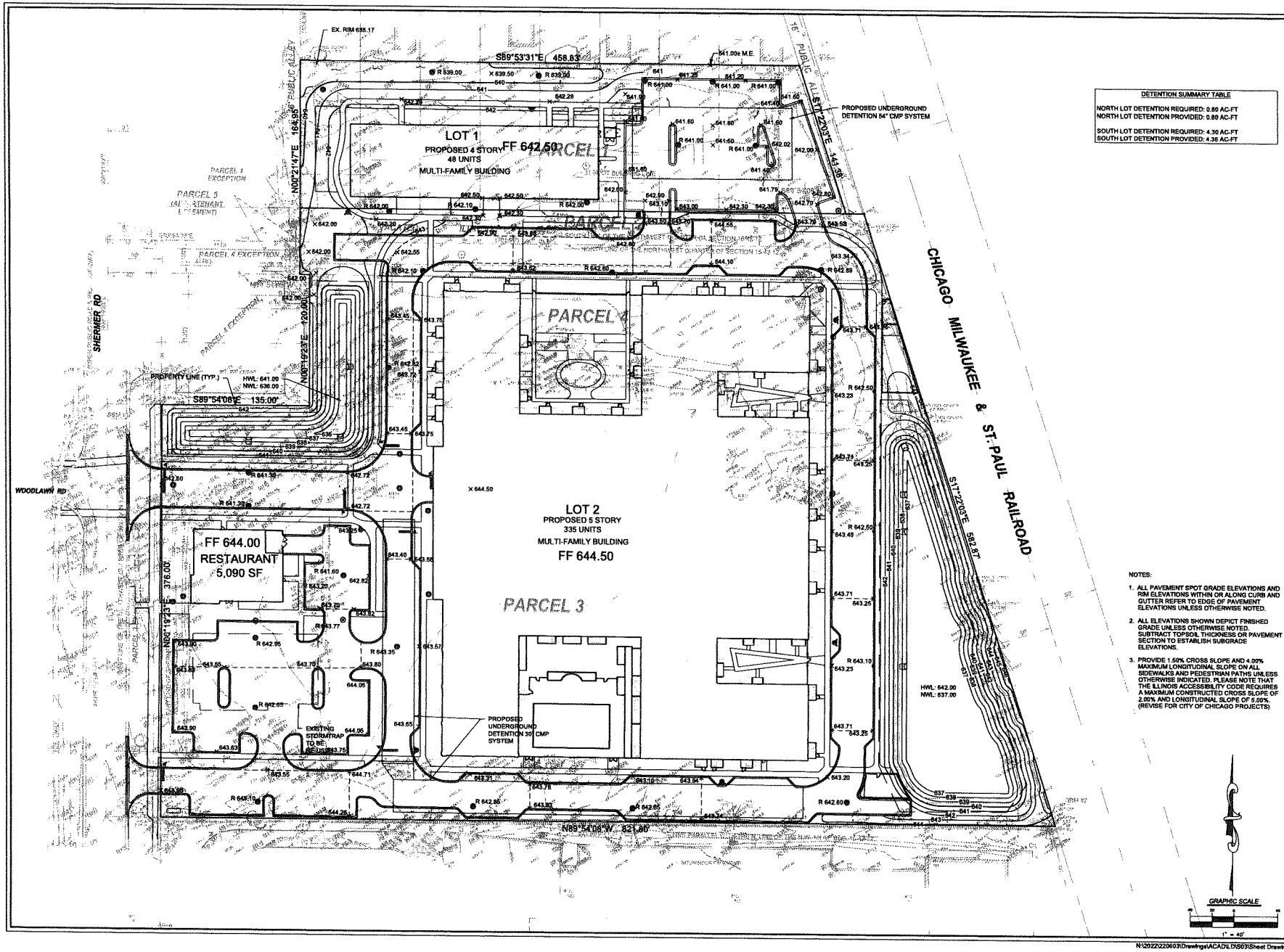

DETENTION SUMMARY TABLE

NORTH LOT DETENTION REQUIRED: 0.80 AC-FT
NORTH LOT DETENTION PROVIDED: 0.80 AC-FT

SOUTH LOT DETENTION REQUIRED: 4.30 AC-FT
SOUTH LOT DETENTION PROVIDED: 4.38 AC-FT

NOTES:

1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%. (REVISE FOR CITY OF CHICAGO PROJECTS)

REVISIONS

NO.	DATE	DESCRIPTION
1	08-19-22	ISSUE FOR SCHEMATIC DESIGN
2	9-16-22	ISSUE FOR 50% DD
3	10-13-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 26, 2022

PROJECT NO.: 220603
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

PRELIMINARY GRADING PLAN

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

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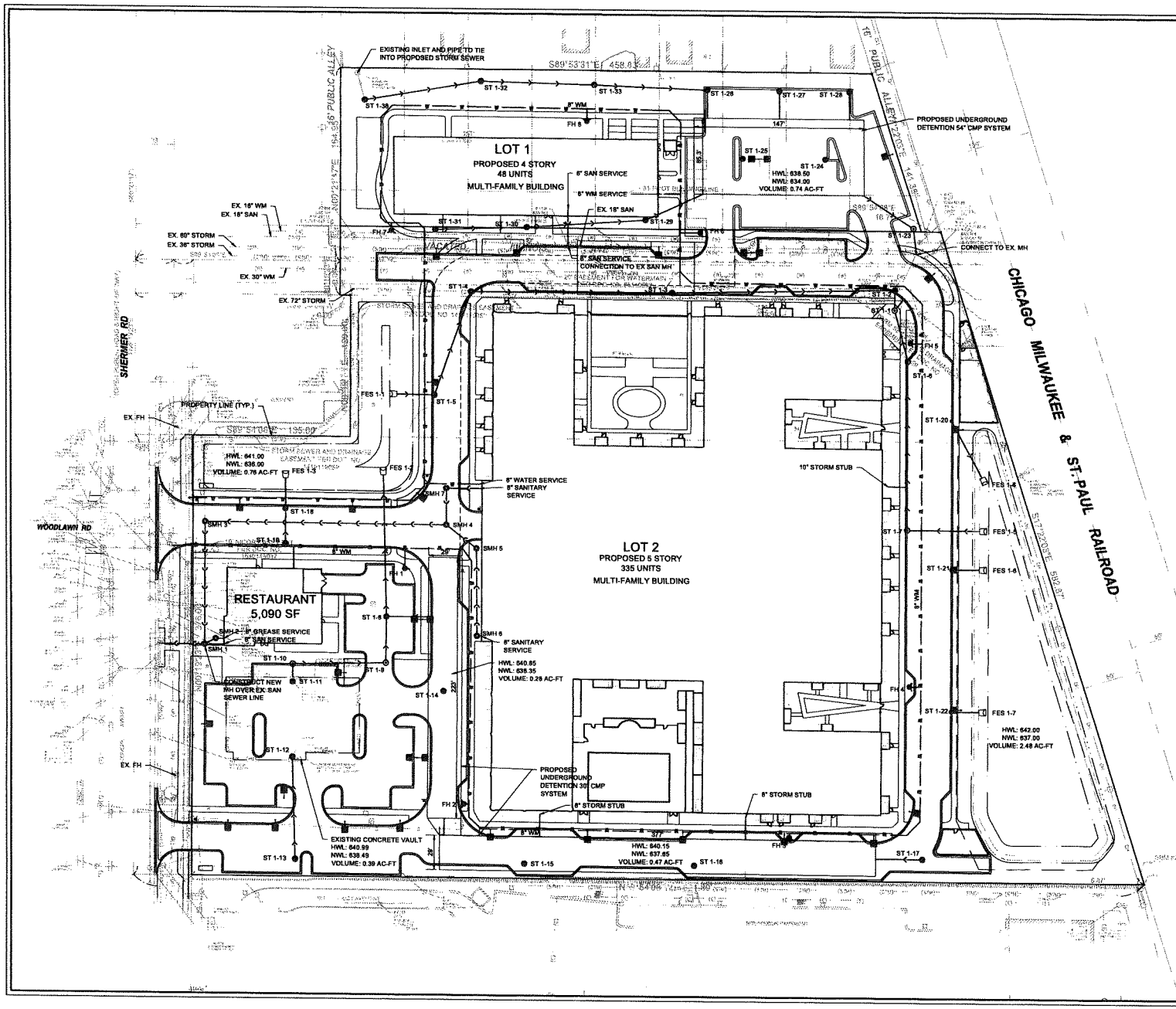

NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS.
   FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE "NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE, DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE."
3. LIGHT POLES SHOWN FOR COORDINATION OR LOCATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE PLANS BY SITE LIGHTING CONSULTANT FOR SITE LIGHTING INFORMATION.

REVISIONS

NO.	DATE	DESCRIPTION
1	09-09-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	11-11-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO: 220603
PROJECT MANAGER: RW
DESIGNED BY: AV
DRAWN BY: BD

PRELIMINARY UTILITY PLAN

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

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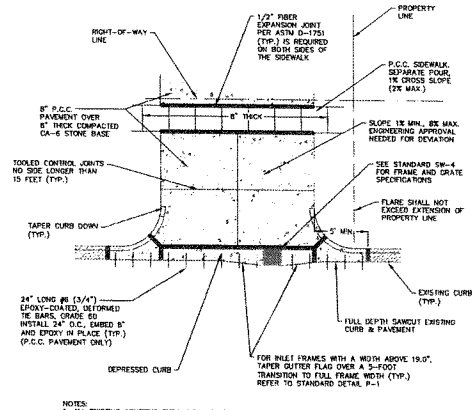


NOTES:
1. ALL EXISTING ABUTTING EXPANSION JOINT MATERIAL SHALL BE REMOVED AND REPLACED.
2. IF THE EXISTING CURB/PAVEMENT HAS REINFORCEMENT BARS, THEY SHALL NOT BE CUT OFF, UNLESS THEY ARE DEEMED UNUSABLE PER ENGINEER.
3. CONCRETE FOR APRON AND SIDEWALK SHALL BE IDOT CLASS SI OR PP-1.
4. ALL CONCRETE SHALL BE IN PLACE NO MORE THAN 1-1/2 HOURS AFTER TRUCK IS LOADED.
5. THE CONTRACTOR IS RESPONSIBLE FOR VIBRATING THE CONCRETE DURING PLACEMENT.
6. WHITE CURING COMPOUND, PER IDOT SECTION 1022.01(C), SHALL BE APPLIED TO THE CONCRETE IMMEDIATELY AFTER IT HAS BEEN FINISHED OR PER MANUFACTURER'S RECOMMENDATION.

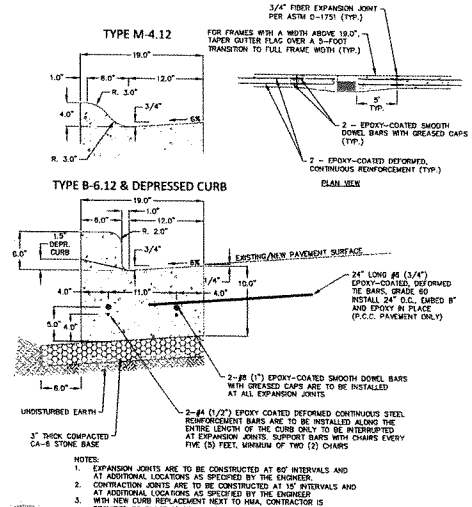
STANDARD COMMERCIAL DRIVEWAY ENTRANCE DETAIL

Village of Northbrook Public Works Department

DATE	REVISIONS
4-30-20	Added and Revised Notes
4-1-21	Added Plan Note

STANDARD DETAIL P-4 (01)

(Sheet 1 of 1)



NOTES:
1. EXPANSION JOINTS ARE TO BE CONSTRUCTED AT 60' INTERVALS AND AT ADDITIONAL LOCATIONS AS SPECIFIED BY THE ENGINEER.
2. CONTRACTION JOINTS ARE TO BE CONSTRUCTED AT 15' INTERVALS AND AT ADDITIONAL LOCATIONS AS SPECIFIED BY THE ENGINEER.
3. WITH NEW CURB REPLACEMENT NEXT TO HMA, CONTRACTOR IS REQUIRED TO PLACE 2' OF HMA FULL DEPTH PAID SEPARATELY TO MATCH EXISTING

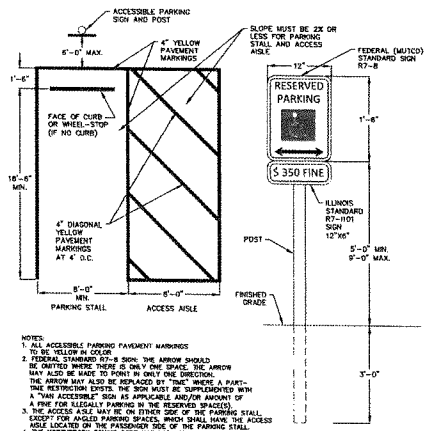
COMBINATION CURB & GUTTER

Village of Northbrook Public Works Department

DATE	REVISIONS
4-30-20	Consolidated Details, Revised Notes
4-1-21	Added Plan Note

STANDARD DETAIL P-1 (01)

(Sheet 1 of 1)



NOTES:
1. ALL ACCESSIBLE PARKING PAVEMENT MARKINGS TO BE YELLOW IN COLOR.
2. FEDERAL STANDARD R7-8 SIGN: THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "ONE" WHERE A PART-TIME RESTRICTION EXISTS. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF A FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S).
3. THE ACCESS ASLE MAY BE ON EITHER SIDE OF THE PARKING STALL EXCEPT FOR ANGLED PARKING SPACES, WHICH SHALL HAVE THE ACCESS ASLE LOCATED ON THE PASSENGER SIDE OF THE PARKING STALL.
4. THE NORTHBROOK ZONING CODE HAS VARYING PARKING STALL DIMENSIONS DEPENDING UPON THE ZONING DISTRICT. THIS DETAIL SHOWS THE MOST COMMON SIZE.

ACCESSIBLE PARKING DETAIL

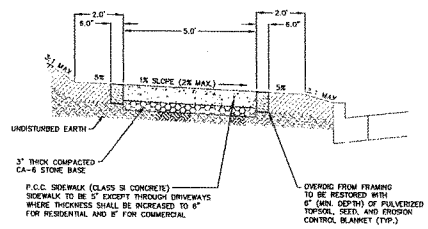
Village of Northbrook Public Works Department

DATE	REVISIONS
7-25-19	Dimensions, Notes
4-1-21	Added Plan Note

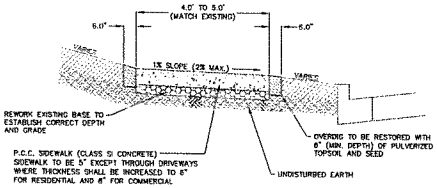
STANDARD DETAIL P-11 (01)

(Sheet 1 of 1)

NEW P.C.C. SIDEWALK



P.C.C. SIDEWALK PATCHING



NOTES:
1. WHEN CONSTRUCTING SIDEWALK WITHIN THE DRIPLINE OF A TREE, FOLLOW STANDARD DETAIL FOR "P.C.C. SIDEWALK IN DRIPLINE DETAIL," P-8
2. PROVIDE 1/2" THICK FIBER EXPANSION JOINT PER ASTM D-1751 EVERY 50 FEET

P.C.C. SIDEWALK DETAIL

Village of Northbrook Public Works Department

DATE	REVISIONS
4-30-20	Consolidated Sidewalk Details

STANDARD DETAIL P-5 (01)

(Sheet 1 of 1)

REVISIONS

NO.	DATE	DESCRIPTION
1	08-09-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	10-13-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO: 220603
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

CONSTRUCTION DETAILS

1657 SHERMER

NORTHBROOK ILLINOIS

7325 James Avenue
Woodridge, IL 60517
630.724.9200 Phone
www.V3Co.com

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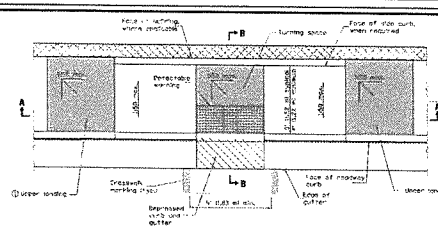
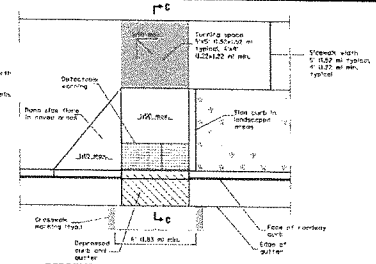
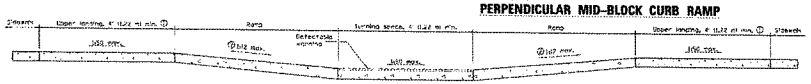


PARALLEL MID-BLOCK CURB RAMP



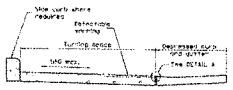
PERPENDICULAR MID-BLOCK CURB RAMP



SECTION A–A

① Upper landing not required for ramp slopes flatter than 1:20.

② The running slope of the curb ramp shall not require the ramp length to exceed 15' (4.5 m).



SECTION B–B

SECTION C–C

SIDE CURB DETAIL

DETAIL A

GENERAL NOTES

All slope ratios are expressed as units of vertical displacement to units of horizontal displacement (rise).

Where the turning space is constrained on a side opposite a ramp, the minimum length of the turning space in the direction of the ramp run shall be 5' (1.52 m).

Where 1:20 maximum slope is shown, 1:24 is preferred.

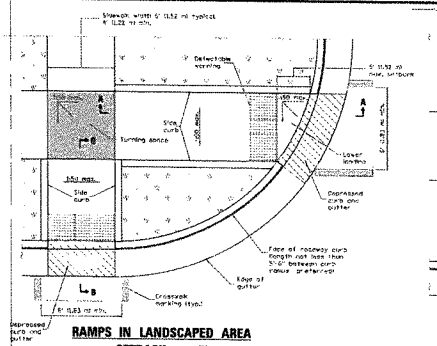
See Standard 606001 for details of depressed curb adjacent to curb ramp.

All dimensions are in inches (millimeters) unless otherwise shown.

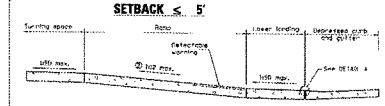
DATE	REVISIONS
11-1-21	Revised lower landing to turning space, added turning space dimensions
10-1-21	Added sidewalk widths
	Revised to Standard 424016-02

MID-BLOCK CURB RAMPS FOR SIDEWALKS

STANDARD 424016-02

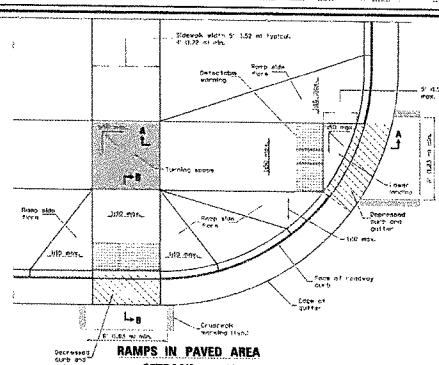


RAMPS IN LANDSCAPED AREA
SETBACK ≤ 5'



SECTION A–A

① The running slope of the curb ramp shall not require the ramp length to exceed 15' (4.5 m).

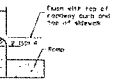


RAMPS IN PAVED AREA
SETBACK ≤ 5'

SECTION B–B

① See running slope of the curb ramp shall not require the ramp length to exceed 15' (4.5 m).

DETAIL A



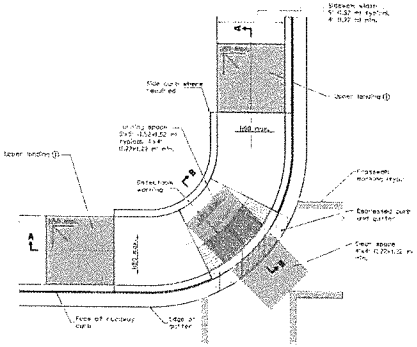
SIDE CURB DETAIL

See Sheet 2 for GENERAL NOTES.

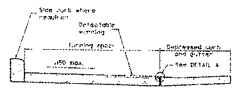
DATE	REVISIONS
11-1-21	Revised lower landing to turning space, added turning space dimensions
10-1-21	Added sidewalk widths, revised to Standard 424001-08

PERPENDICULAR CURB RAMPS FOR SIDEWALKS

STANDARD 424001-08

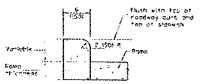


CORNER PARALLEL CURB RAMP



SECTION B–B

DETAIL A



SIDE CURB DETAIL

SECTION A–A

① Upper landing not required for ramp slopes flatter than 1:20.

② The running slope of the curb ramp shall not require the ramp length to exceed 15' (4.5 m).

GENERAL NOTES

All slope ratios are expressed as units of vertical displacement to units of horizontal displacement (rise).

Where the turning space is constrained on a side opposite a ramp, the minimum length of the turning space in the direction of the ramp run shall be 5' (1.52 m).

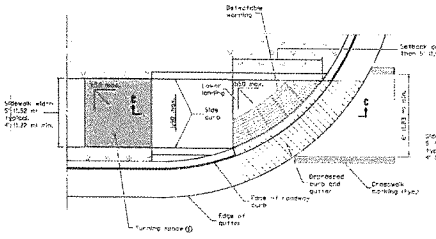
Where 1:20 maximum slope is shown, 1:24 is preferred.

See Standard 606001 for details of depressed curb adjacent to curb ramp.

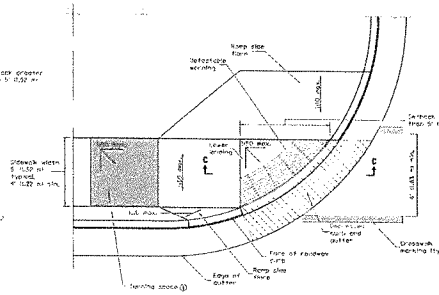
All dimensions are in inches (millimeters) unless otherwise shown.

CORNER PARALLEL CURB RAMPS FOR SIDEWALKS

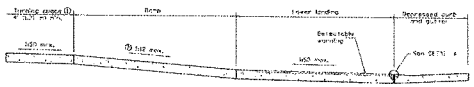
STANDARD 424011-02



RAMP IN LANDSCAPED AREA
SETBACK > 5'



RAMP IN PAVED AREA
SETBACK > 5'



SECTION C–C

① Turning space not required for ramp slopes flatter than 1:20.

② The running slope of the curb ramp shall not require the ramp length to exceed 15' (4.5 m).

GENERAL NOTES

All slope ratios are expressed as units of vertical displacement to units of horizontal displacement (rise).

Where the turning space is constrained on a side opposite a ramp, the minimum length of the turning space in the direction of the ramp run shall be 5' (1.52 m).

Where 1:20 maximum slope is shown, 1:24 is preferred.

See Standard 606001 for details of depressed curb adjacent to curb ramp.

All dimensions are in inches (millimeters) unless otherwise shown.

PERPENDICULAR CURB RAMPS FOR SIDEWALKS

STANDARD 424001-08

NO.	DATE	DESCRIPTION
1	06-09-22	ISSUE FOR SCHEMATIC DESIGN
2	10-05-22	ISSUE FOR 50% DD
3	10-10-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-23-22	ISSUE FOR 100% DD

REVISIONS

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO: 220603

PROJECT MANAGER: RW

DESIGNED BY: MV

DRAWN BY: BD

CONSTRUCTION DETAILS

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 Phone
www.V3Co.com

DRAWING NO.

C6.1

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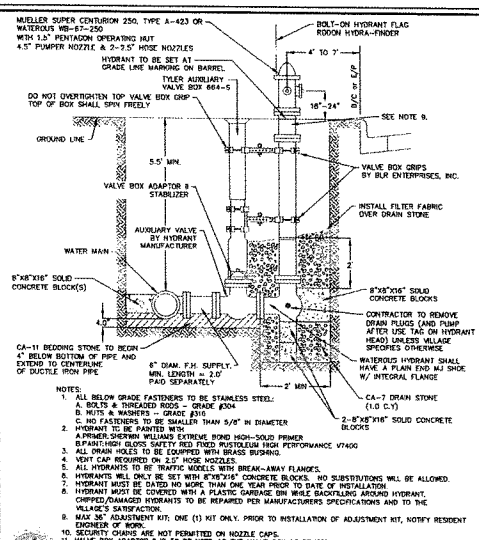
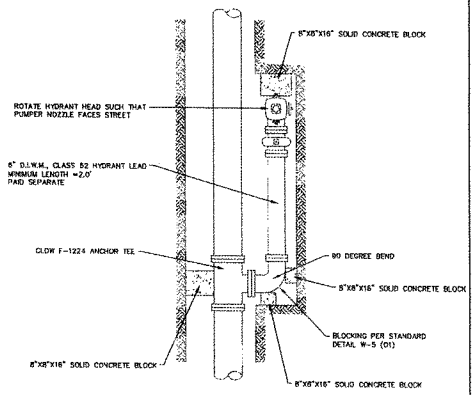


NOTES:
1. ALL BELOW GRADE FASTENERS TO BE STAINLESS STEEL:
   A. BOLTS & THREADED RODS - GRADE #304
   B. NUTS & WASHERS - GRADE #316
   C. NO FASTENERS TO BE SMALLER THAN 5/8" IN DIAMETER
2. HYDRANT TO BE PAINTED WITH:
   A.PRIMER:SHERWIN WILLIAMS EXTREME BOND HIGH-SOLID PRIMER
   B.PAINT:HIGH GLOSS SAFETY RED FIXED RUSTOLEUM HIGH PERFORMANCE V7400
3. ALL DRAIN HOLES TO BE EQUIPPED WITH BRASS BUSHING.
4. VENT CAP REQUIRED ON 2.0" HOSE NOZZLES.
5. ALL HYDRANTS TO BE TRAFFIC MODELS WITH BREAK-AWAY FLANGES.
6. HYDRANTS WILL ONLY BE SET WITH 8"X8"X16" CONCRETE BLOCKS. NO SUBSTITUTIONS WILL BE ALLOWED.
7. HYDRANT MUST BE DATED NO MORE THAN ONE YEAR PRIOR TO DATE OF INSTALLATION.
8. HYDRANT MUST BE COVERED WITH A PLASTIC GARBAGE BIN WHILE BACKFILLING AROUND HYDRANT. CHIPPED/DAMAGED HYDRANTS TO BE REPAIRED PER MANUFACTURERS SPECIFICATIONS AND TO THE VILLAGE'S SATISFACTION.
9. MAX 36" ADJUSTMENT KIT; ONE (1) KIT ONLY. PRIOR TO INSTALLATION OF ADJUSTMENT KIT, NOTIFY RESIDENT ENGINEER OF WORK.
10. SECURITY CHAINS ARE NOT PERMITTED ON NOZZLE CAPS.
11. VALVE BOX ADAPTOR # 15 TO BE USED AS THE VALVE BOX STABELIZER
12. ENCASE FIRE HYDRANT STANDPIPE, AUXILIARY VALVE AND LEAD PIPE WITH POLYETHYLENE V-BIO WRAP PER STANDARD DETAIL W-13.

NORTHBROOK FIRE HYDRANT DETAIL

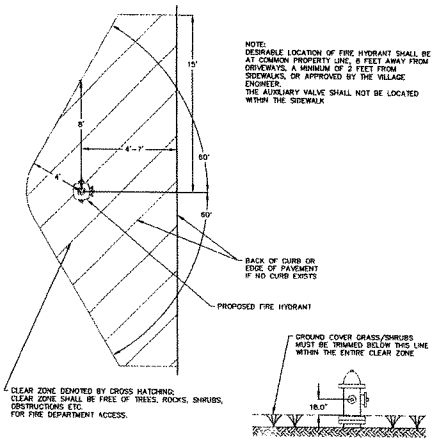
Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL W-1 (01) (Sheet 1 of 1)
	1-8-19	Revised Notes	
	4-1-21	Revised Notes	



PLAN VIEW FOR INSTALLATION METHOD WHEN PROPOSED HYDRANT LOCATION DOES NOT ALLOW FOR THE INSTALLATION OF A MINIMUM 2' LONG HYDRANT LEAD PERPENDICULAR TO THE WATER MAIN. INSTALLATION METHOD SHALL BE AT THE DISCRETION OF THE ENGINEER.

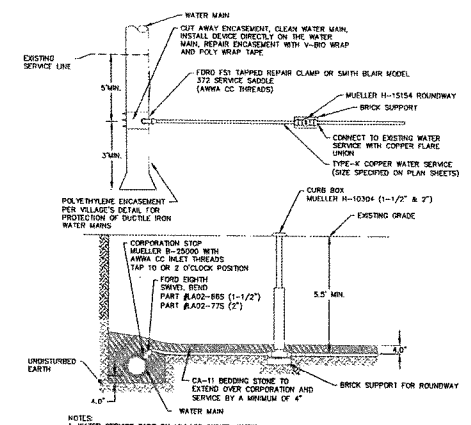
NORTHBROOK FIRE HYDRANT DETAIL

Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL W-1 (02) (Sheet 2 of 2)
	1-8-19	Revised Notes	
	4-1-21	Revised Notes	



FIRE HYDRANT CLEARANCE DETAIL

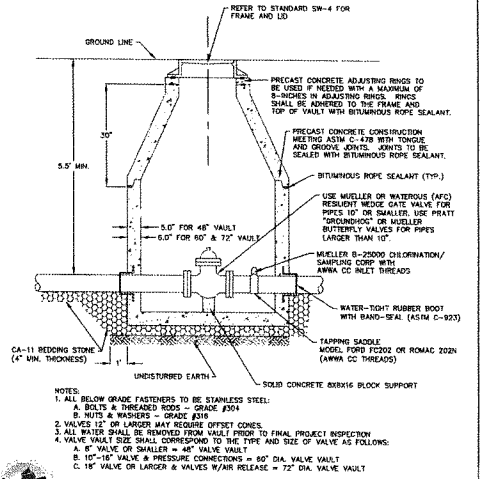
Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL W-2 (Sheet 1 of 1)
	1-8-19	Revised Notes	
	4-1-21	Revised Notes	



NOTES:
1. WATER SERVICE TAPS ON VILLAGE OWNED WATER MAIN MUST BE MADE THROUGH A TAPPING DEVICE AS SPECIFIED ABOVE UNLESS OTHERWISE DIRECTED BY VILLAGE STAFF.
2. ALL TREE ROOTS CONFLICTING WITH THE PROPOSED WATER SERVICE INSTALLATION MUST BE ROOT PRUNED WITH A VERMEER V200SL OR APPROVED EQUAL "WALK BEHIND" ROOT PRUNING MACHINE TO A MINIMUM DEPTH OF 18 INCHES PRIOR TO ANY EXCAVATION. THE WATER SERVICE MUST BE RELOCATED ACCORDINGLY IF STAFF DETERMINES THAT EXCAVATION WILL THREATEN THE HEALTH OF EXISTING TREES.
3. REFER TO STANDARD X FOR TRACER WIRE DETAIL FOR PVC WATER MAIN
4. CONTRACTOR IS TO SCHEDULE AN INSPECTION FOR EACH SERVICE CONNECTION WITH RESIDENT ENGINEER PRIOR TO BACKFILLING
5. BACKFILL TO BE PLACED IN 8" LOOSE LIFTS AND COMPACTED WITH A MECHANICAL COMPACTOR AND IS SUBJECT TO THE APPROVAL OF THE VILLAGE ENGINEER

WATER SERVICE DETAIL

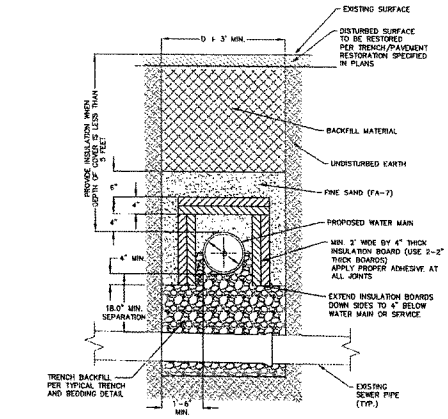
Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL W-4 (Sheet 1 of 1)
	1-8-19	Revised Notes	
	4-1-21	Revised Notes, Edited Picture	



NOTES:
1. ALL BELOW GRADE FASTENERS TO BE STAINLESS STEEL:
   A. BOLTS & THREADED RODS - GRADE #304
   B. NUTS & WASHERS - GRADE #316
2. VALVES 12" OR LARGER MAY REQUIRE OFFSET CONES.
3. ALL WATER SHALL BE REMOVED FROM VAULT PRIOR TO FINAL PROJECT INSPECTION
4. VALVE VAULT SIZE SHALL CORRESPOND TO THE TYPE AND SIZE OF VALVE AS FOLLOWS:
   A. 8" VALVE OR SMALLER = 48" VALVE VAULT
   B. 10"-16" VALVE & PRESSURE CONNECTIONS = 60" DIA. VALVE VAULT
   C. 18" VALVE OR LARGER & VALVES W/AIR RELEASE = 72" DIA. VALVE VAULT

WATER MAIN VALVE VAULT DETAIL

Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL W-3 (Sheet 1 of 1)
	1-8-19	Revised Notes	



NOTES:
1. INSULATION BOARD TO BE CLOSED CELL, EXTRUDED POLYSTYRENE FOAM MEETING ASTM 578, TYPE VI, 40 PSI COMPRESSIVE STRENGTH (ASTM D-1621) 0.1% MAX. WATER ABSORPTION (ASTM C-272).
2. BACKFILL MATERIAL AROUND INSULATION MUST BE FINE SAND FREE FROM ROOTS, ORGANIC MATTER OR OTHER DAMAGING MATERIALS.
3. OVERLAP ALL INSULATION BOARD JOINTS.

WATER MAIN TRENCH INSULATION DETAIL

Village of Northbrook Public Works Department	DATE	REVISIONS	STANDARD DETAIL W-8 (01) (Sheet 1 of 1)
	1-8-19	New Detail	

REVISIONS

NO.	DATE	DESCRIPTION
1	11-15-22	ISSUE FOR SCHEMATIC DESIGN
2	12-05-22	ISSUE FOR 50% DD
3	12-12-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-23-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO: 220603
PROJECT MANAGER: RWV
DESIGNED BY: MV
DRAWN BY: BD

CONSTRUCTION DETAILS

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

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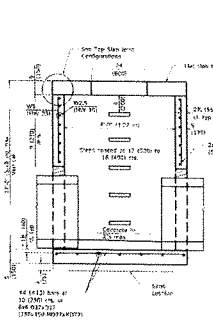
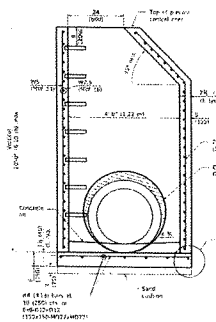
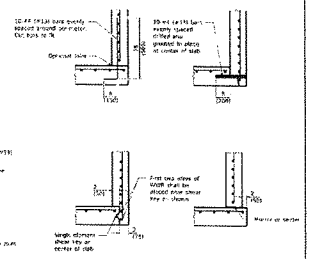


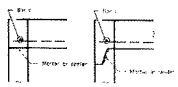
SECTION THRU MANHOLE



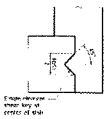
SECTION THRU MANHOLE



BOTTOM SLAB JOINT CONFIGURATIONS



TOP SLAB JOINT CONFIGURATIONS



SHEAR KEY GEOMETRY

GEOMETRIC LIMITS

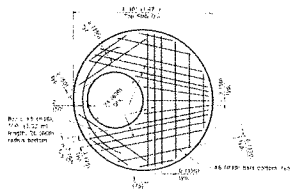
Overlapping holes, as necessary for construction, shall satisfy the following requirements:

1. A minimum of 8 (200) of manufacturer reinforced concrete shall be maintained above the manufacturer pipe hole.
2. A minimum of 12 (300) inside arc length of reinforced concrete, extending vertically from bottom slab to top slab, shall be maintained between the fabricated pipe holes.
3. A maximum of 60 percent of the length dimension of the reinforced concrete inverted walls may be removed.
4. Horizontal cells through pipe holes shall be infilled when the remaining cross section between inverted walls is less than 24 (600). See detail.
5. The recommended inverted pipe hole is equal to the O.D. of the pipe plus 12 (300).

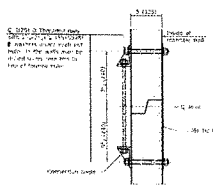
See Sheet 2 for General Notes.

DATE	REVISIONS
7-1-98	Completely revised std. for ESMD. Renumbered std. Revised
	3-16-2 ms manhole to new std.
3-3-11	Revised side in plan. Added dwel. bolt to height. Revised general notes.

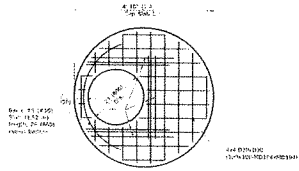
PRECAST MANHOLE TYPE A
4' (1.22 m) DIAMETER
(Sheet 1 of 2)
STANDARD 602401-04



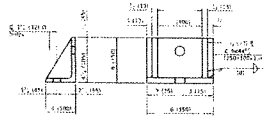
PLAN



JOINT SPLICE



PLAN



CONNECTION ANGLE

TIE PLATE

GENERAL NOTES

Unit configuration and components of this item shall meet and fit the requirements.

The manufacturer shall ensure that all precast manhole sections are efficiently designed and manufactured to resist in large from handling, shipping and installation stresses.

Lifting lugs shall be located in the sections as per the manufacturer's recommendation and should not to bending.

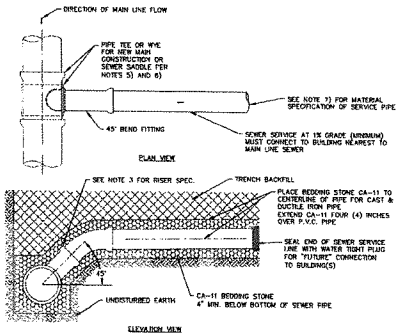
See Standard 602401 for details of invert slab.

All dimensions are in inches (millimeters) unless otherwise noted.

4-1 (#16) bars at 7 (175) c/c. bottom.

4-1 (#16) bars at 7 (175) c/c. 36 (900) long bottom bundle 3-3 (#10) with internal tower tie at the opening.

PRECAST MANHOLE TYPE A
4' (1.22 m) DIAMETER
(Sheet 2 of 2)
STANDARD 602401-04



SEWER SERVICE DETAIL

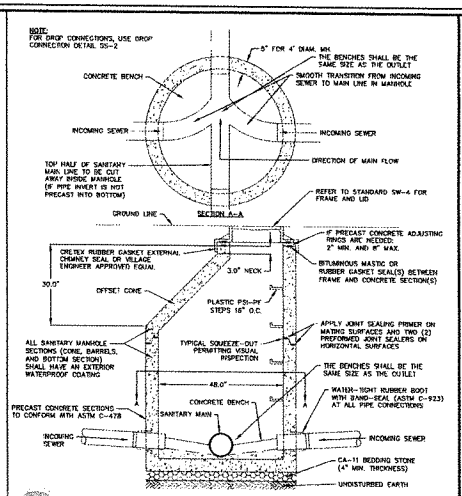
NOTES:

1) TRENCH BACKFILL FOR PAVED AREAS, INCLUDING ROAD, CURB, AND SIDEWALK: CONTROLLED LOW STRENGTH MATERIAL (CLSM). (CA-6 OR APPROVED EQUAL MAY BE USED ONLY WHEN APPROVED BY THE VILLAGE ENGINEER) TBF REQUIRED 3 FEET BEYOND ANY PAVED SURFACE
2) TRENCH BACKFILL FOR NON-PAVED AREAS: FINELY DIVIDED EXCAVATED MATERIAL FREE FROM ROCKS AND DEBRIS
3) RISER REQUIRED WHEN SEWER DEPTH EXCEEDS NINE (9) FEET. MAXIMUM SLOPE OF 1:1 ON RISERS
4) INSTALL DIP SERVICE LINE FROM FOUNDATION WALL TO THE OUTSIDE OF BUILDING OVERHG. OR 10 L.F. MIN.AND INSTALL CLEAN-OUT AT THIS LOCATION
5) NEW CONNECTIONS TO MAIN SHALL BE INSTALLED WITH ROMAC CB OR FORD FSS SEWER SADDLE OR VILLAGE ENGINEER APPROVED EQUAL
6) USE LMT(tm) STYLE SADDLE SYSTEM INSTALLATION OR PRE-APPROVED EQUIVALENT WHEN TAPPING LINED SANITARY MAIN. REMOVE MOST CLAY PIPE AS NECESSARY
7) P.V.C., SDR26 SHALL BE USED EXCEPT FOR WHEN WATER MAIN QUALITY PIPE IS REQUIRED. IN THAT CASE USE GREEN C-900 P.V.C PIPE
8) SANITARY SERVICES ARE NOT PERMITTED IN RESIDENTIAL SIDE YARDS

Village of Northbrook
Public Works Department

DATE	REVISIONS
4-30-20	Revised Notes
5-12-22	Corrected Low Strength Material

STANDARD DETAIL
SS-3 (02)
(Sheet 1 of 1)



SANITARY MANHOLE DETAIL

Village of Northbrook
Public Works Department

DATE	REVISIONS
4-30-20	Revised Notes

STANDARD DETAIL
SS-1 (01)
(Sheet 1 of 1)

REVISIONS

NO.	DATE	DESCRIPTION
1	06-08-22	ISSUE FOR SCHEMATIC DESIGN
2	09-09-22	ISSUE FOR 50% DD
3	09-15-22	PLANNED DEVELOPMENT RESUBMISSION
4	12-22-22	ISSUE FOR 100% DD

ORIGINAL ISSUE DATE: JULY 28, 2022

PROJECT NO. 220603
PROJECT MANAGER: RW
DESIGNED BY: MV
DRAWN BY: BD

CONSTRUCTION DETAILS

1657 SHERMER

NORTHBROOK ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com

DRAWING NO.
C6.3