

Ordinance 2025-43

An Ordinance Granting Final Plan Approval for a Residential Planned Development (The Reserve at the Brook – 3700 Dundee Road) (Plan Commission Docket No. PCD-25-06)

Passed by the Board of Trustees, 07/08/2025
Printed and Published 07/09/2025

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees
VILLAGE OF NORTHBROOK
COOK COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

/s/ Derek Gau

Village Clerk

Ordinance 2025-43

BE IT ORDAINED by the Board of Trustees of the Village of Northbrook, County of Cook and State of Illinois, THAT:

An Ordinance Granting Final Plan Approval for a Residential Planned Development (The Reserve at the Brook – 3700 Dundee Road) (Plan Commission Docket No. PCD-25-06)

shall be, and is hereby, adopted as follows:

SECTION 1. BACKGROUND

Venture 1 OLB LLC (“**Applicant**”) as contract purchaser of the property commonly known as 3700 Dundee Road (“**Property**”), which is owned by The Catholic Bishop of Chicago, a corporation sole (“**Owner**”), has submitted a final plan application (Plan Commission Docket PCD-25-06) to develop the Property as a 57 lot planned development for 53 townhome units (“**Planned Development**”).

On April 8, 2025, the Board of Trustees of the Village (“**Corporate Authorities**”) adopted (i) Ordinance No. 2025-24 amending the comprehensive plan from Institutional Facility to Multi-Family up to 6 DUA; (ii) Ordinance No. 2025-25 rezoning the Property from the IB Institutional Building to the R-6 Multiple Family Residential District; (iii) Ordinance No. 2025-26 granting a special permit for a Residential Planned Development on the Property; and (iii) Resolution No. 2025-R-45 approving a Development Concept Plan, Tentative Plat of Subdivision, and Providing Conceptual Development Approvals and Subdivision Variations on the Property, all in accordance with the Northbrook Zoning Code (1988), as amended (“**Zoning Code**”) and the Northbrook Subdivision Code, as amended (1991) (“**Subdivision Code**”).

In order to develop the Property as proposed, the Applicant has requested relief from, and approvals under, both the Zoning Code and the Subdivision Code. Specifically, the Applicant has requested, pursuant to Section 11-603 D4 of the Zoning Code, approval of a final plan for the Planned Development on the Property. The Applicant has also requested, pursuant to Section 3-201 of the Subdivision Code, approval of a final plat of subdivision for the Property to allow for subdivision of the existing lot of record on the Property. Finally, the Applicant requested approval of the variations conceptually approved by Resolution No. 2025-R-45. Together these approvals shall be referred to as the “**Requested Relief**.”

The Corporate Authorities have determined that the applicable standards and requirements for granting the Requested Relief have been satisfied, and that approval of the Requested Relief should be granted, subject to and contingent upon the conditions, restrictions, and provisions set forth in this Ordinance.

SECTION 2. DESCRIPTION OF PROPERTY

The Property consists of approximately 11.76 acres and is legally described in **Exhibit A**, attached to and, by this reference, made a part of this Ordinance.

SECTION 3. PUBLIC MEETING

A public meeting was held by the Plan Commission on June 17, 2025, to consider the Applicant’s request for (i) final plan approval of the Planned Development; (ii) final subdivision plat approval; (iii) a variation to reduce the required right-of-way for portions of the proposed public roads; (iv) a variation to allow sidewalks on one side of a public road; (v) a variation to allow a reduced minimum centerline radius from 155 feet to 100 feet; (vi) a variation to allow a reduced minimum radius of a cul-de-sac for both pavement diameter from 107 feet to 92 feet and for the right-of-way diameter from 140 feet to 108 feet; and (vii) site plan approval. The Plan Commission made its recommendation to approve the Applicant's Requested Relief

on June 17, 2025 (Plan Commission Resolution 25-PC-10).

SECTION 4. APPROVAL OF FINAL PLAN

Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, the final plan for the Planned Development on the Property consisting of the following documents, all of which are incorporated into ***Exhibit B***, attached hereto, and, by this reference, made a part of this Ordinance, (collectively, the "***Final Plan***"), is determined to be in substantial compliance with the Development Concept Plan approved by Resolution No. 2025-R-45, and shall be, and is hereby, approved in accordance with and pursuant to Section 11-603 of the Zoning Code:

- a) Final PUD Plan, prepared by Dickson Design Studio, consisting of one sheet, with a latest revision date of May 21, 2025;
- b) Final Engineering Plans, prepared by Haeger Engineering, with most recent revision date of May 22, 2025;
- c) Final Landscape Plans, prepared by Dickson Design Studio, with most recent revision date of May 21, 2025; and
- d) Building Elevation Plans, prepared by Pulte Group Design, with most recent revision date of February 10, 2025.

All revisions to any of the plans listed in this Section 4 that are reviewed, accepted, and approved by either the Village Engineer or the Village's Director of Development and Planning Services subsequent to the date of adoption of this Ordinance shall be incorporated into, and made a part of this Ordinance and the Final Plan with no further action required by the Corporate Authorities.

SECTION 5. SITE PLAN APPROVAL

Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, the Final PUD Plan for the Property, prepared by Dickson Design Studio, consisting of one page, with the most recent revision date of May 21, 2025, a copy of which is attached to, and by this reference made a part of, this Ordinance as ***Exhibit B*** ("***Final Plan***"), shall be, and is hereby, approved in accordance with and pursuant to Section 11-604 of the Zoning Code and the home rule powers of the Village.

SECTION 6. CONDITIONS OF APPROVALS

The final plan approval granted in Section 4 and the site plan approval granted in Section 5 of this Ordinance are contingent upon the development, use, and maintenance of the Property being in substantial compliance with the following conditions:

- A. Compliance with Plans. The development, use, operation, and maintenance of the Property must comply with the Final Plan and the Final Plat of Subdivision, except for minor changes and site work approved by the Village's Director of Development and Planning Services in accordance with all applicable Village standards.
- B. Compliance with Regulations. The development, use, operation, and maintenance of the Property must comply with all applicable Village codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance.
- C. Subdivision and Development Agreement. The execution by Applicant and compliance with a Subdivision and Development Agreement in a form acceptable to the Village Attorney.
- D. Affordable Housing Covenant. An Affordable Housing Covenant stating compliance

with the requirements of Part III of Article IX of the Zoning Code, entitled “Affordable Housing in New Developments”, in a form acceptable to the Village Attorney, must be recorded with the Cook County Clerk’s Office.

- E. Declaration and Covenants. The declaration and covenants for the Property shall be approved by the Village Attorney and recorded with the Cook County Clerk’s Office.

SECTION 7. FAILURE TO COMPLY WITH CONDITIONS

Upon failure or refusal of the Applicant to comply with any or all of the conditions, restrictions or provisions of this Ordinance, the final plan approval granted in Section 4 and the site plan approval granted by Section 5, at the sole discretion of the Board of Trustees, by ordinance duly adopted, be revoked and become null and void as to the particular parcel that is not in compliance; provided, however, that the Board of Trustees may not so revoke the final plan approval or the site plan approval, unless it shall first provide the Applicant, with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Board of Trustees. In the event of revocation, the development and use of the portion of the Property which is subject to such revocation shall be governed solely by the regulations of the R-6 Multiple Family Residential District, as the same may, from time to time, be amended. Further, in the event of such revocation of the relief granted herein, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances against the applicable property owner. The Applicant acknowledges that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice to the Applicant required by this Section has been given.

SECTION 8. AMENDMENT TO APPROVALS

Any amendment to any provision of this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code for amendment of such relief.

SECTION 9. EFFECTIVE DATE

This Ordinance shall be in full force and effect only upon the occurrence of all of the following events:

- A. Passage by the Board of Trustees of the Village of Northbrook by a majority vote in the manner required by law;
- B. Publication in pamphlet form in the manner required by law;
- C. Execution of the Subdivision and Development Agreement between the Village and the Applicant; and
- D. Recordation of this Ordinance, together with such exhibits as the Village Clerk shall deem appropriate for recordation, with the Cook County Clerk’s Office. The Applicant shall bear the full cost of such recordation.
- E. The acquisition of the Property by the Applicant, or its successor entities or direct affiliates.

Adopted: 07/08/25

RESULT:	ADOPTED [6 – 0]
MOVER:	Johannah Hebl, Trustee
SECONDER:	Matt Cassidy, Trustee
AYES:	Israel, Ross, Hebl, Ebhomielen, Kohler, Cassidy
NAYES:	None
ABSTAIN:	Kathryn Ciesla, President
ABSENT:	None

/s/ Kathryn Ciesla
Village President

ATTEST:

/s/ Derek Gau
Village Clerk

EXHIBIT A

CURRENT LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF LOT 25 IN COUNTY CLERK'S DIVISION OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, 693.30 FEET WEST OF THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF SAID SECTION 6; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHEAST QUARTER 570.0 FEET; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID SOUTHEAST QUARTER 143.75 FEET TO THE WEST LINE OF PARCEL 1 DESCRIBED IN THE DEED FROM ELMER R. HALLEN AND ELIZABETH JANE HALLEN, HIS WIFE, TO EDWARD HAJOST AND LEONA HAJOST, HIS WIFE, DATED DECEMBER 18, 1959, AND RECORDED FEBRUARY 9, 1960, AS DOCUMENT 17777781; THENCE NORTH ALONG SAID WEST LINE AND PARALLEL TO THE EAST LINE OF SAID SOUTHEAST QUARTER 156.95 FEET TO THE NORTHWEST CORNER OF PARCEL 1 IN THE AFORESAID DEED; THENCE EAST ALONG THE NORTH LINE OF PARCEL 1 IN SAID DEED 176.50 FEET TO THE EAST LINE OF LOT 25 AFOREMENTIONED; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 25, 363.72 FEET TO THE NORTHEAST CORNER OF SAID LOT 25; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 25, 746.73 FEET TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 25, 757.21 FEET TO A POINT 338.58 FEET (5.13 CHAINS) NORTH OF THE SOUTH LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 67 DEGREES, 40 MINUTES EAST, 260.70 FEET; THENCE SOUTH 437.58 FEET TO THE SOUTH LINE OF SAID SOUTHEAST QUARTER; THENCE EAST 185.97 FEET TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM, THAT PORTION LYING SOUTHERLY OF THE EXISTING NORTHERLY FENCE LINE FOR THE CEMETERY), IN COOK COUNTY, ILLINOIS.

PARCEL 2:

LOT 26 IN THE COUNTY CLERK'S DIVISION OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THOSE PARTS OF LOT 26 CONVEYED IN THE DEEDS RECORDED AS DOCUMENT NUMBERS 24188301, 24193671 AND 26868377.

PERMANENT INDEX NUMBER: 04-06-400-055-0000 and 04-06-400-059-0000

Commonly known as 3700 Dundee Road, Northbrook, Illinois 60062

POST-SUBDIVISION LEGAL DESCRIPTION

LOTS 1 THROUGH 57, BOTH INCLUSIVE, IN THE RESERVE AT THE BROOK SUBDIVISION OF LOTS 25 AND 26 IN COUNTY CLERK'S DIVISION OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS ACCORDING TO THE PLAT OF RESERVE AT THE BROOK SUBDIVISION RECORDED _____ AS DOCUMENT _____ ("RESERVE AT THE BROOK SUBDIVISION").

Permanent Index Number: 04-06-400-055-0000 and 04-06-400-059-0000

All in Northbrook, Illinois 60062

EXHIBIT B

FINAL PLANS

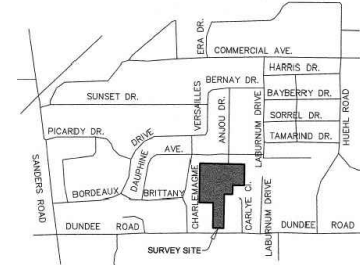
The Final Plan for the Property shall consist of the following plans and specifications which are attached hereto and by this reference made a part of this Ordinance.* In the event of any conflict or inconsistency among the plans and specifications, the later dated plan or specification shall control.

- A. Final PUD Plan, prepared by Dickson Design Studio, consisting of one sheet, with a latest revision date of May 21, 2025;
- B. Final Engineering Plans, prepared by Haeger Engineering, with most recent revision date of May 22, 2025.
- C. Final Landscape Plans, Dickson Design Studio, with most recent revision date of May 21, 2025;
- D. Building Elevation Plans, Pulte Group Design, with most recent revision date of February 10, 2025.

* Pursuant to Section 4 of this Ordinance, all revisions to any of the plans listed in this *Exhibit B* that are reviewed, accepted, and approved by either the Village Engineer or the Village's Director of Development and Planning Services subsequent to the date of adoption of this Ordinance shall be incorporated into, and made a part of this Ordinance and the Final Plan with no further action required by the Corporate Authorities.

LOCATION MAP

NOT TO SCALE



SITE DATA

GROSS SITE	ACRES	PERCENT
PERMITTER ROAD R.O.W. (DUNDEE)	11.75	100.00%
NET SITE AREA	9.21	7.79%
	11.54	98.21%

NET SITE AREA	ACRES	PERCENT
PUBLIC STREET RIGHT-OF-WAY	11.54	100.00%
BUILDING COVER	2.30	19.96%
PAVEMENT COVER (A)	2.42	21.00%
OPEN SPACE	6.80	6.97%
	6.01	62.00%

TOTAL NUMBER OF UNITS	= 53
GROSS DENSITY (53 DU / 11.75 AC.)	= 4.5 DU/AC.
NET DENSITY (53 DU / 9.24 AC.)	= 5.7 DU/AC.

BEDROOM MIX	= 53 (100%)
3 BEDROOM UNITS	= 53 (100%)

PARKING REQUIRED:	= 3 SPACES / UNIT
GARAGE / DRIVEWAY	= 0.5 SPACES / UNIT
GUEST	= 0.5 SPACES / UNIT
TOTAL	= 3.5 SPACES / UNIT

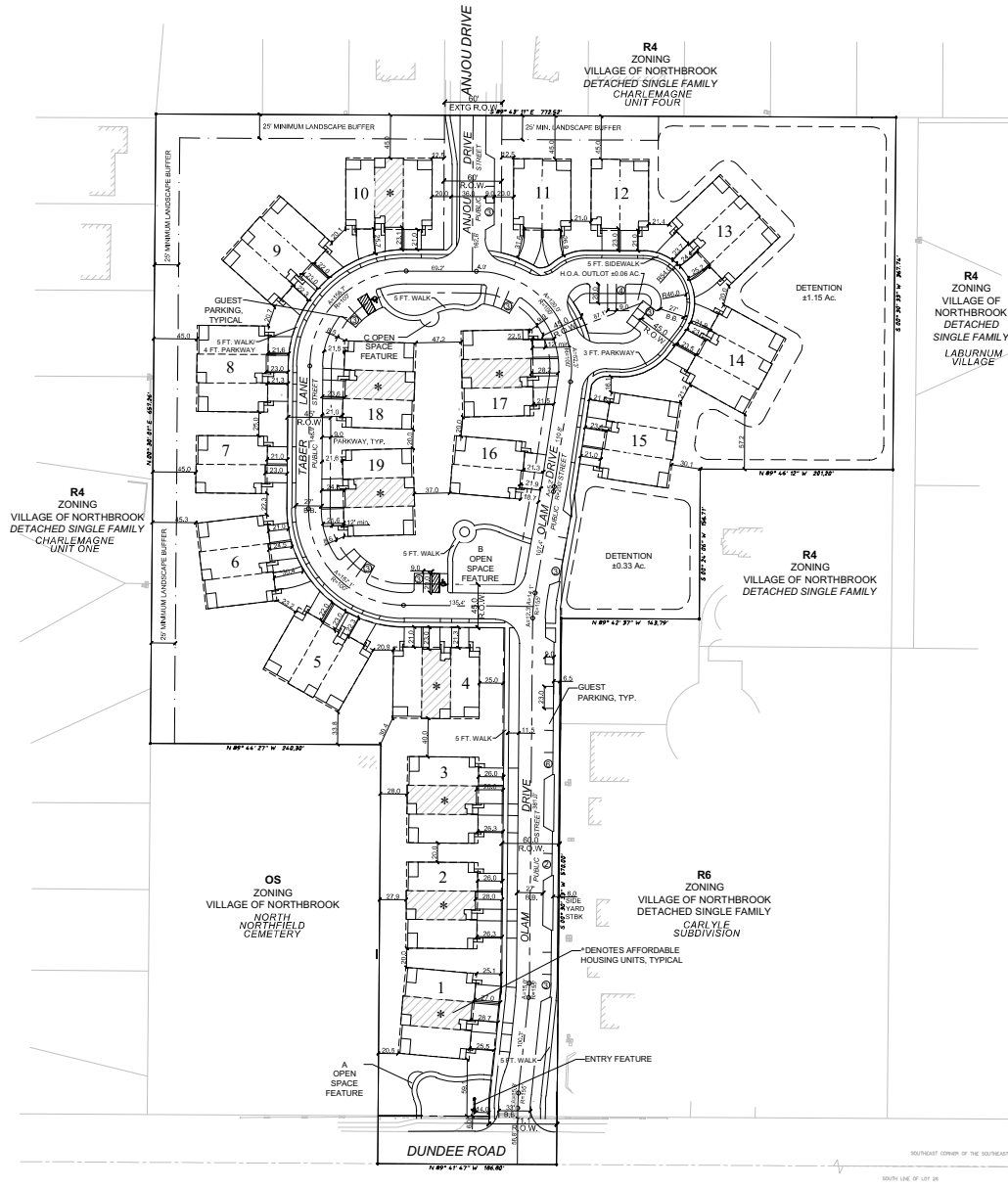
PARKING PROVIDED:	= 212 SPACES (A 1)
GARAGE / DRIVEWAY	= 76 SPACES (3.68)
GUEST (INCLUDES 2 ACCESSIBLE SPACES)	= 246 SPACES (A 68 SPACES / UNIT)
TOTAL	= 246 SPACES (A 68 SPACES / UNIT)

DESIGN STANDARDS

	ALLOWED (A-6)	PROPOSED (PUD)
MAXIMUM BUILDING HEIGHT	35 FT.	33 FT.
FEET	3	2
STORES	100,000 SF	402,014 SF (A)
MINIMUM LOT AREA (PLANNED DEVELOPMENT)	60 FT.	60 FT. BUILDING WIDTH (2-UNIT)
ALL USES	59 FT. (DUNDEE RD.)	20 FT. (CEMETERY)
MINIMUM YARDS & SETBACKS	6 FT.	45 FT. (CHARLEMAGNE)
FRONT AND CORNER SIDE YARD / SETBACK	30 FT.	20 FT.
INTERIOR SIDE YARD / SETBACK	20 FT.	45 FT.
REAR YARD / SETBACK	20 FT.	45 FT.
PUD MINIMUM STANDARDS & SEPARATIONS	20 FT.	45 FT.
BUILDING TO PERIMETER (CEMETERY)	45 FT.	30 FT.
BUILDING TO EAST FIFTY LINE	30 FT.	12 FT.
GARAGE TO R.O.W.	12 FT.	21 FT.
GARAGE TO BACK OF CURB / WALK	21 FT.	20 FT.
BUILDING TO BUILDING	20 FT.	40 FT.
SIDE TO SIDE	40 FT.	37 FT.
SIDE TO REAR	37 FT.	1,000 SF
REAR TO REAR	2,725 SF	0.40
MINIMUM OVERHUNG UNIT SIZE	0.40	0.4379
MAXIMUM FLOOR AREA RATIO	65%	34.4%
MAXIMUM LOT COVERAGE		

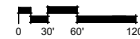
NOTES:

- EXISTING ZONING IS R4 IN THE VILLAGE OF NORTHBROOK.
- PROPOSED ZONING IS R4 PD IN THE VILLAGE OF NORTHBROOK.
- TYPICAL UNIT FOOTPRINT IS 30'0" X 74'0".
- PAVEMENT COVER EXCLUDES PAVEMENT & WALKS WITHIN R.O.W.
- LOT AREA EXCLUDES PUBLIC STREETS.
- REFUSE AND RECYCLING CONTAINERS SHALL BE STORED WITHIN GARAGES.
- FINAL AC UNIT LOCATIONS TO BE DETERMINED BASED ON UNIT SALES.
- AC UNITS SHALL BE LOCATED IN THE REAR. SEE FOUNDATION LANDSCAPE PLANS.



FINAL PUD PLAN

SCALE: 1" = 60'-0"



dickson design
STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLD, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL PUD PLAN

SHEET NUMBER

1 OF 1

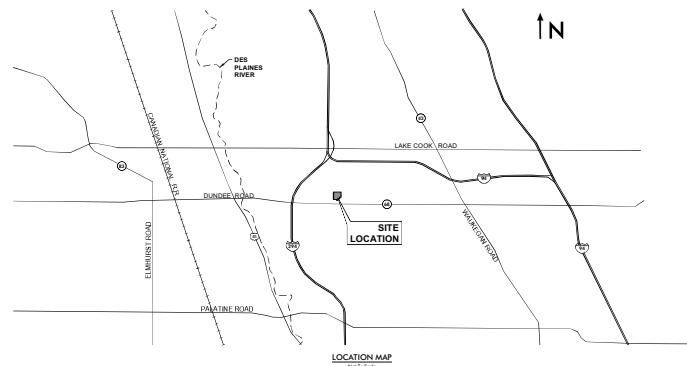
THE RESERVE AT THE BROOK 3700 DUNDEE ROAD SITE IMPROVEMENT PLANS

SECTION 6 TOWNSHIP 42 NORTH RANGE 12 EAST NORTHBROOK, ILLINOIS COOK COUNTY

DEVELOPER
I.M. Homes
605 N. Michigan Avenue
Chicago, IL 60611

PREPARED BY
Haeger Engineering LLC
Hinge Prof. Design Firm #184-003152
100 E. State Parkway
Schaumburg, IL 60173
Tel: 847-394-6600
Fax: 847-394-6608
www.haegerengineering.com

VILLAGE OF NORTHBROOK
655 Huest Road
Northbrook, IL 60062
Tel: 847-272-5050



SITE BENCHMARKS:
CP # 603 (see survey)
Description: Iron Rod
Elevation: 689.08 NAVD 88 (Geoid 12A)
CP # 612 (see survey)
Description: Cross Notch
Elevation: 689.96 NAVD 88 (Geoid 12A)
CP # 617 (see survey)
Description: Cross Notch
Elevation: 692.42 NAVD 88 (Geoid 12A)
CP # 619 (see survey)
Description: NE Bolt on Hydrant
Elevation: 693.23 NAVD 88 (Geoid 12A)

INDEX TO SHEETS	
NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	GENERAL NOTES & SPECIFICATIONS
C2.1	GENERAL NOTES & SPECIFICATIONS
C2.2	MWRD GENERAL NOTES
C3.0	EXISTING CONDITIONS PLAN
C4.0	DEMOLITION PLAN
C5.0	GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN
C6.0	GRADING & DRAINAGE PLAN
C7.0	UTILITY PLAN
C7.1	UTILITY SERVICE PLAN
C8.0	ROADWAY PROFILES
C8.1	SANITARY SEWER PROFILES
C9.0	TYPICAL DETAILS
C9.1	TYPICAL DETAILS

INDEX TO STORM WATER POLLUTION PREVENTION PLAN SHEETS	
NO.	DESCRIPTION
EC-1	SWPPP TITLE SHEET
EC-2	SWPPP GENERAL NOTES & SPECIFICATIONS
EC-3	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
EC-4	SWPPP TYPICAL DETAILS

INDEX TO EXHIBITS	
NO.	DESCRIPTION
EX1.0	MWRD DEVELOPMENT AREA EXHIBIT
EX2.0	MWRD DRAINAGE EXHIBIT
EX3.0	MWRD VOLUME CONTROL EXHIBIT
EX4.0	MWRD MAINTENANCE & MONITORING EXHIBIT

Existing Symbol	Description	Proposed Symbol
	Storm Sewer Manhole	
	Catch Basin	
	Inlet	
	Flared End Section	
	Headwall	
	Area Drain	
	Sanitary Sewer Manhole	
	Clean Out	
	Fire Hydrant	
	Valve Vault	
	Valve Box	
	B-Box	
	Well Head	
	Gas Valve	
	Electrical Pedestal	
	Electric Manhole	
	Guy Wire	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Light Pole	
	Light Pole With Mast Arm	
	Traffic Signal	
	Traffic Signal With Mast Arm	
	Cable TV Pedestal	
	Storm Sewer	
	Storm Sewer Service	
	Perforated Underdrain	
	Sanitary Sewer	
	Sanitary Sewer Service	
	Combined Sewer	
	Force Main	
	Water Main	
	Water Main Service	
	Gas Line	
	Electric Line	
	Overhead Utility Line	
	Fiber Optic Line	
	Telephone Line	
	Cable TV Line	
	Curb Elevation and Gutter/Pavement Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Wall Elevation	
	Bottom of Wall Elevation	
	Open Lid Frame & Grate	
	Closed Lid Frame & Lid	
	Finish Grade	
	Garage Floor	
	Top of Foundation	
	Swale	
	Hardscape Flow	
	Softscape Flow	
	Over Land Flow Route	
	Contour Line	
	Hand Hole	
	Fence	
	Guardrail	
	Pipe Bollard	
	Sign	
	Flagpole	
	Mailbox	
	Handicapped Parking Stall	
	Number of Parking Stalls	
	Curb & Gutter	
	Reverse Pitch Curb & Gutter	
	Depressed Curb	
	Retaining Wall	
	Wetland	
	Wetland Buffer	
	Normal Water Level	
	High Water Level	
	Flood Plain	
	Flood Way	
	Deciduous Tree	
	Coniferous Tree	
	Bush	
	Brushline	
	Soil Boring	



HAEGER ENGINEERING
100 East New Parkway, Schaumburg, IL 60173 • Tel: 847-394-6600 Fax: 847-394-6608
www.haegerengineering.com

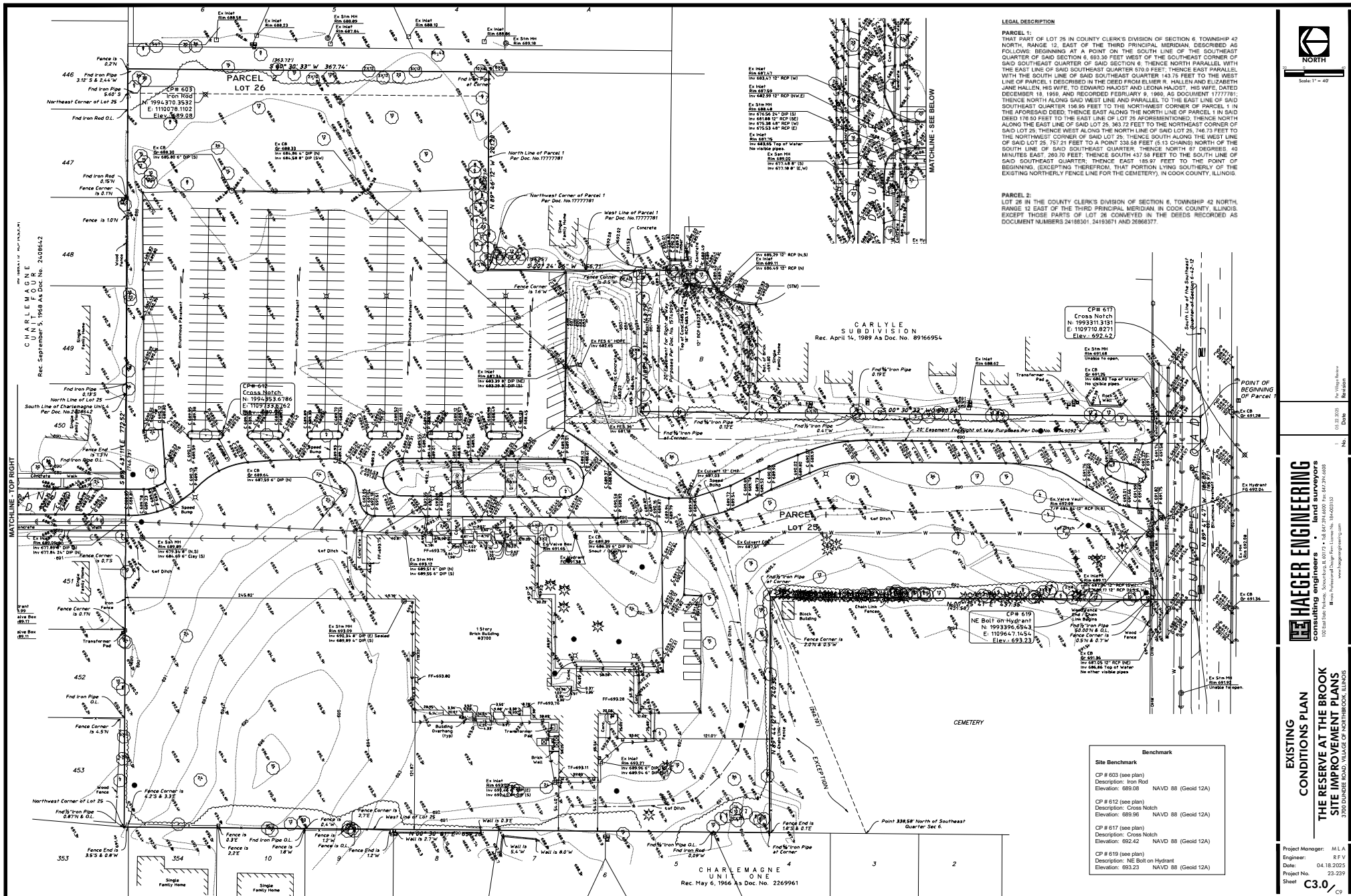
TITLE SHEET
THE RESERVE AT THE BROOK
SITE IMPROVEMENT PLANS
3700 DUNDEE ROAD, VILLAGE OF NORTHBROOK, ILLINOIS

Project Manager: M.L.A.
Engineer: R.F.V.
Date: 04.18.2025
Project No.: 23-239
Sheet: C1.0



Know what's below.
Call before you dig.

Note:
Call 811 at least 48 hours, excluding
weekends and holidays, before you dig.

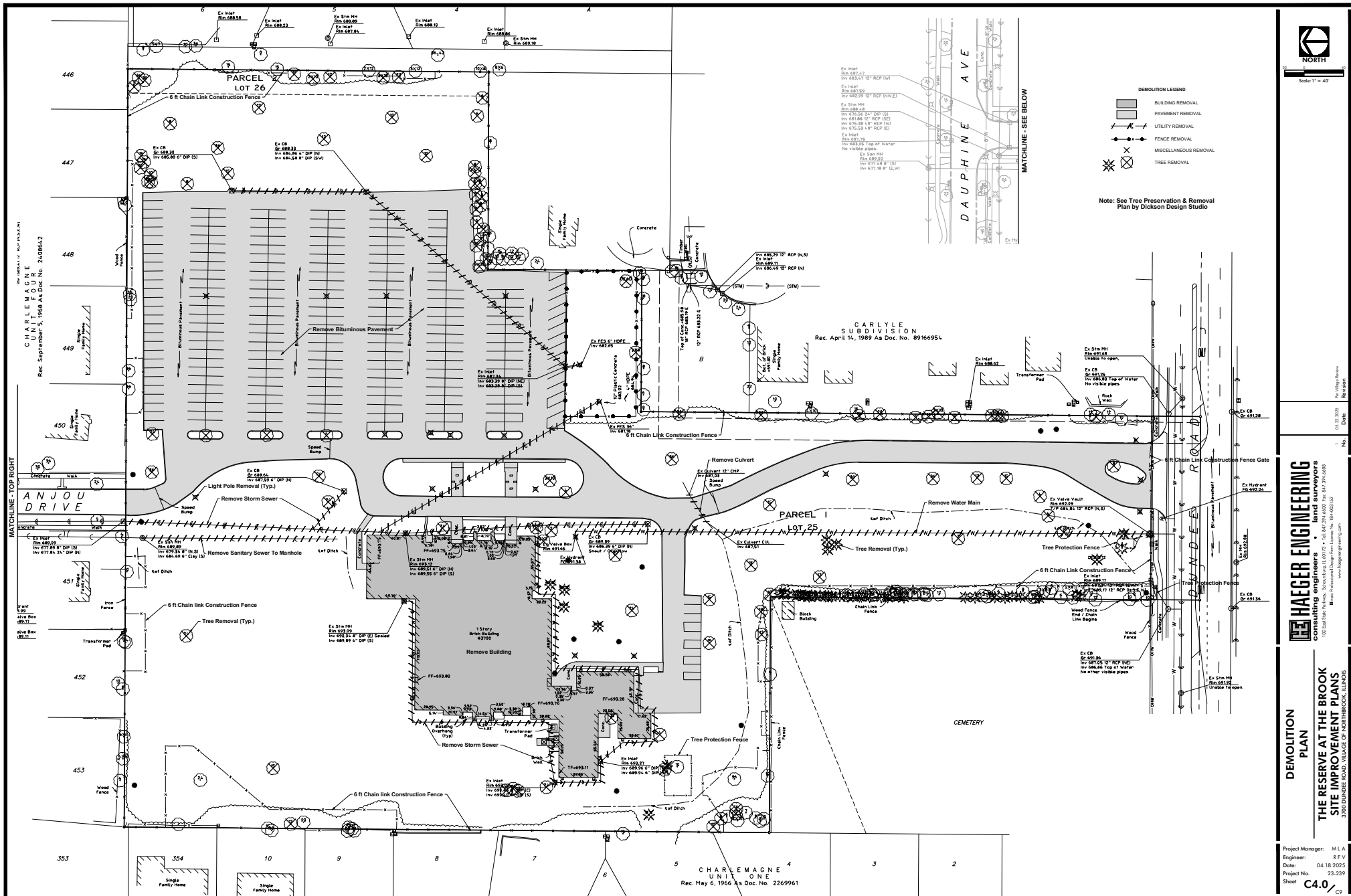


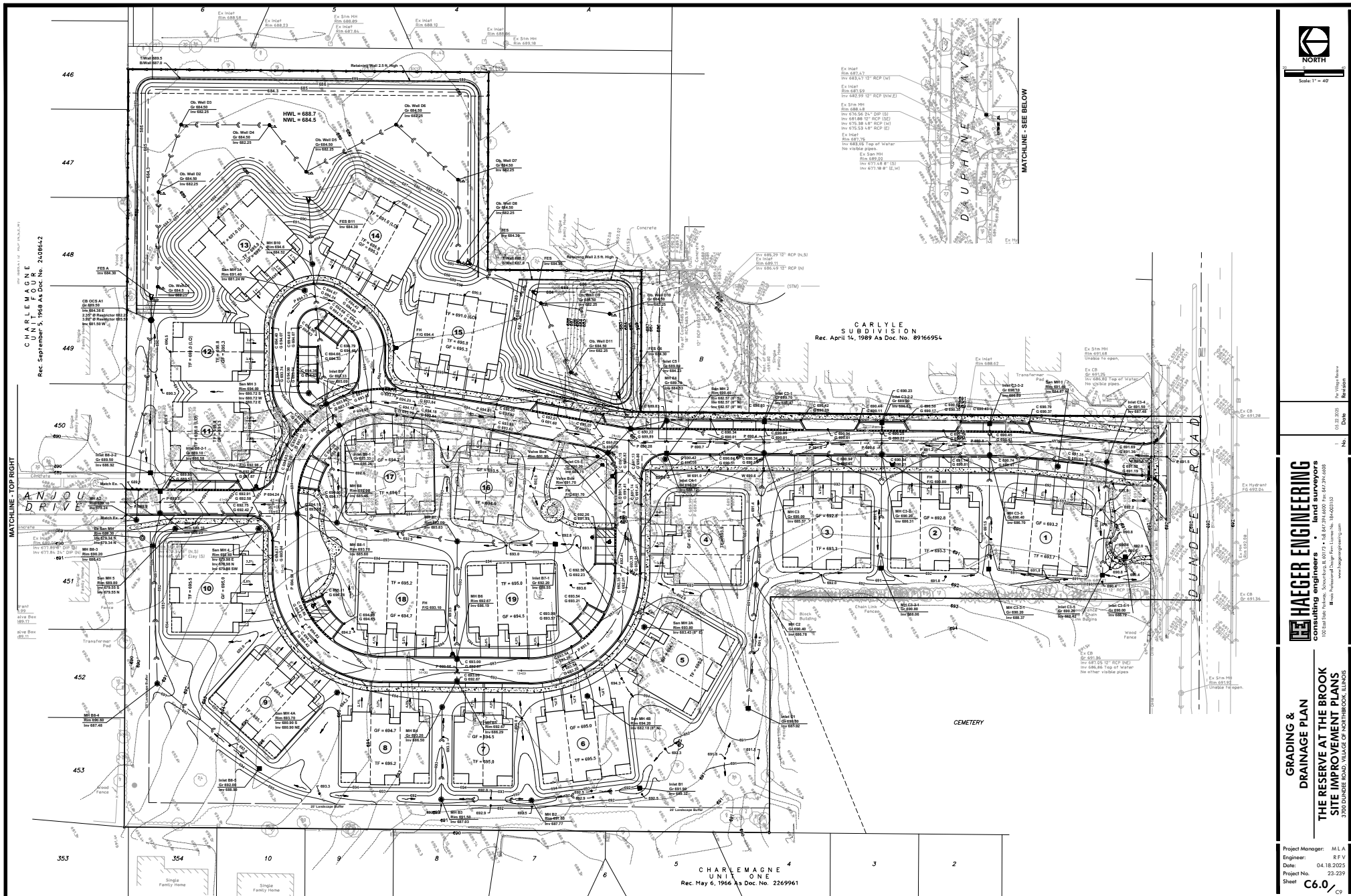
Scale 1" = 40'

HAAGER ENGINEERING
100 West Main Street, Suite 100, Northbrook, IL 60062
Tel: 847.294.6600 Fax: 847.294.6608
www.haagerengineering.com

EXISTING CONDITIONS PLAN
THE RESERVE AT THE BROOK
SITE IMPROVEMENT PLANS

Project Manager: M.L.A.
Engineer: R.F.V.
Date: 04.18.2025
Project No.: 23-239
Sheet: C3.0





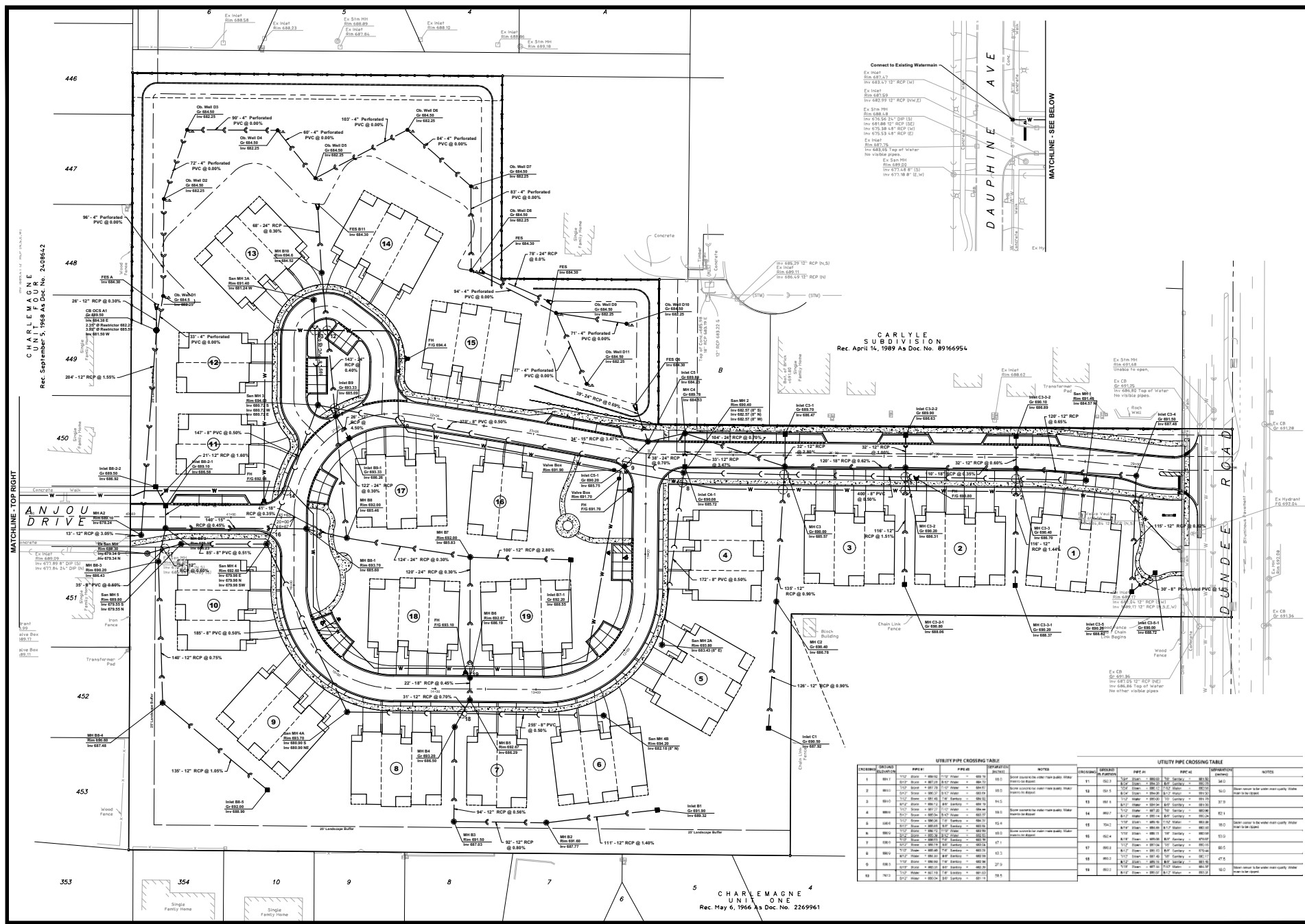
Scale 1" = 40'

HAEGER ENGINEERING
CONSULTANTS
102 East Star Parkway, Schaumburg, IL 60197 • Tel. 815/394-6600 Fax 815/394-6608
www.haegerengineering.com

**GRADING &
DRAINAGE PLAN**

**THE RESERVE AT THE BROOK
SITE IMPROVEMENT PLANS**
3700 DUNDIE ROAD, VILLAGE OF NORTHBROOK, ILLINOIS

Project Manager: M.L.A.
Engineer: R.F.V.
Date: 04.18.2025
Project No.: 23-239
Sheet: **C6.0**



LINE	DATE	PIPE	SIZE	DEPTH	NOTES
1	08/11	12" RCP	12"	12"	Sanitary sewer to lot 10 (12" RCP) (12")
2	08/11	12" RCP	12"	12"	Sanitary sewer to lot 11 (12" RCP) (12")
3	08/11	12" RCP	12"	12"	Sanitary sewer to lot 12 (12" RCP) (12")
4	08/11	12" RCP	12"	12"	Sanitary sewer to lot 13 (12" RCP) (12")
5	08/11	12" RCP	12"	12"	Sanitary sewer to lot 14 (12" RCP) (12")
6	08/11	12" RCP	12"	12"	Sanitary sewer to lot 15 (12" RCP) (12")
7	08/11	12" RCP	12"	12"	Sanitary sewer to lot 16 (12" RCP) (12")
8	08/11	12" RCP	12"	12"	Sanitary sewer to lot 17 (12" RCP) (12")
9	08/11	12" RCP	12"	12"	Sanitary sewer to lot 18 (12" RCP) (12")
10	08/11	12" RCP	12"	12"	Sanitary sewer to lot 19 (12" RCP) (12")
11	08/11	12" RCP	12"	12"	Sanitary sewer to lot 20 (12" RCP) (12")



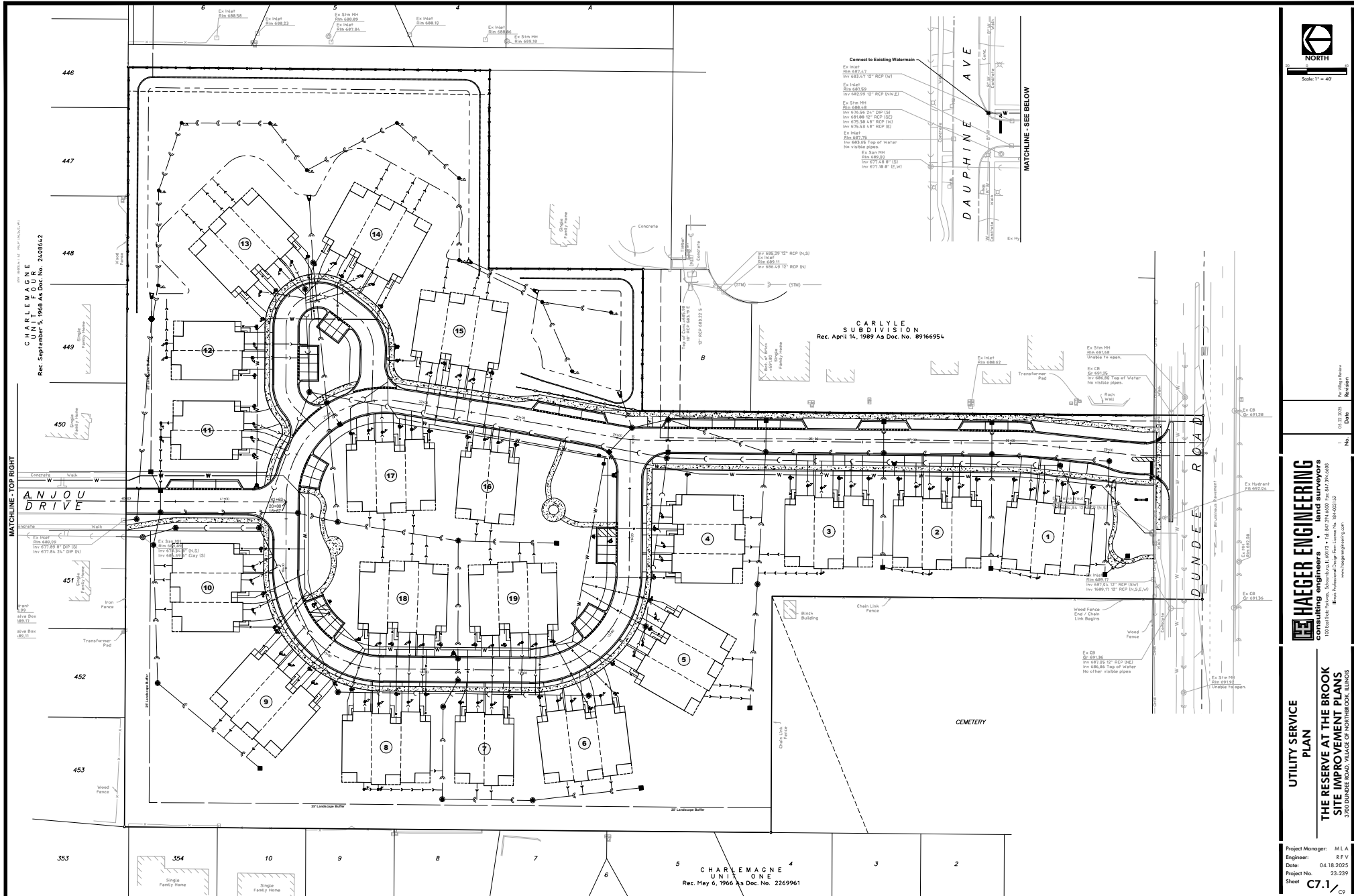
Scale 1" = 40'

HAAGER ENGINEERING
 CONSULTANTS
 102 East Main Street, Northbrook, IL 60062 • Tel: 847.291.6600 Fax: 847.291.6608
 www.haagerengineering.com

UTILITY PLAN

**THE RESERVE AT THE BROOK
 SITE IMPROVEMENT PLANS**

Project Manager: M.L.A.
 Engineer: R.F.V.
 Date: 04.18.2025
 Project No.: 23-239
 Sheet: **C7.0**



By: [Signature]
 Date: 04/18/2025
 Revision:

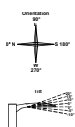
HAAGER ENGINEERING
 100 East Main Street, Northbrook, IL 60062 • Tel. 847.291.4600 Fax. 847.291.4608
 www.haagerengineering.com

UTILITY SERVICE PLAN
THE RESERVE AT THE BROOK SITE IMPROVEMENT PLANS
 3700 DUNDEE ROAD, VILLAGE OF NORTHBRIDGE, ILLINOIS

Project Manager: M.L.A.
Engineer: R.F.V.
Date: 04.18.2025
Project No.: 23-239
Sheet: C7.1



Luminaires			
Label	Mounting Height	Orientation	Mount Arm Length
T2-1	31.0'	90°	6'
T2-2	31.0'	0°	6'
T2-3	31.0'	303°	6'
T2-4	31.0'	270°	6'
T2-5	31.0'	248°	6'
T2-6	31.0'	189°	6'
T2-7	31.0'	180°	0'
T2-8	31.0'	12°	6'
T2-9	31.0'	90°	6'
T2-10	31.0'	100°	6'
T2-11	31.0'	90°	0'
T2-12	31.0'	90°	0'
T2-13	31.0'	90°	0'
T2-14	31.0'	95°	6'
T2-15	31.0'	0°	6'
T2-16	31.0'	327°	6'



Schedule					
Symbol	Label	Qty	Manufacturer	Description	Notes
T2	14	General Electric	Evolve LED Roadway Streetlight ERL1-O-CP-07-40	LED	Lumens: 7,000 UF: 1.0 Wattage: 49
T2	14	General Electric	Evolve LED Roadway Streetlight ERL1-O-CP-07-40	LED	Lumens: 7,000 UF: 1.0 Wattage: 49

Statistics (Calculation Height: At Finished Grade)						
Description	Avg (ft)	Max (ft)	Avg (ft)	Max (ft)	Avg (ft)	Max (ft)
Calculation Zone - 50 ft Beyond Property Line	0.2	2.2	0.0	N/A	N/A	N/A
Statistic Zone - Roads	1.0	2.2	0.4	5.5:1	2.5:1	

Evolve
ERL1 Curb Head
17 luminaire lighting

The Evolve LED Roadway Streetlight ERL1-O-CP-07-40 is a high-performance, energy-efficient lighting fixture. It features a compact, modern design and is suitable for use in a variety of applications, including street lighting, parking lots, and commercial areas. The fixture is made of die-cast aluminum and is available in a variety of finishes, including black, white, and bronze. It is also available in a variety of mounting heights and arm lengths to meet your specific needs.

Key Features:

- High-performance LED lighting
- Energy-efficient design
- Compact, modern design
- Available in a variety of finishes
- Available in a variety of mounting heights and arm lengths

Evolve
ERL1 Curb Head
17 luminaire lighting

Ordering Information

1. Select the luminaire type and mounting height from the list below. The luminaire type is determined by the luminaire type and the mounting height. The mounting height is determined by the luminaire type and the mounting height.

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Evolve
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17 luminaire lighting

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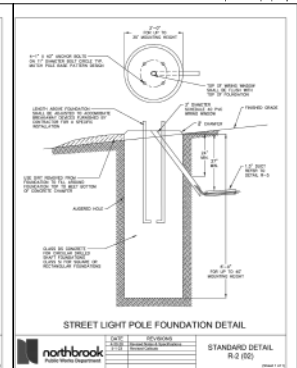
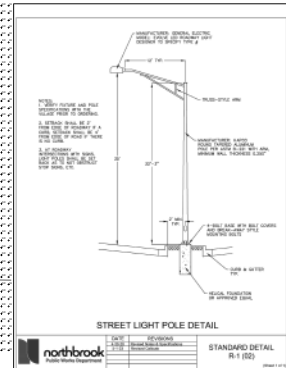
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HAEGER ENGINEERING
CONSULTANTS
100 East 10th Street, Suite 100, Chicago, IL 60611 484.294.6600 Fax: 484.294.6608
www.haegerengineering.com

SITE LIGHTING AND PHOTOMETRIC PLAN
THE RESERVE AT THE BROOK
SITE IMPROVEMENT PLANS
2700 E. 48th / DANZEE ROAD, NORTHBROOK, ILLINOIS

Project Manager: M.L.A.
Engineer: J.D.L.
Date: 06.17.2025
Project No.: 23-239
Sheet: 1/1

The Reserve at The Brook

3700 DUNDEE ROAD | NORTHBROOK, IL

PROJECT TEAM

DEVELOPERS:
VENTURE 1 OLB, LLC
401 N. MICHIGAN AVE., SUITE 1200
CHICAGO, IL 60611
TEL (312) 848-4845
CONTACT: SY TAXMAN / MOISES CUKIERMAN

ARCHITECT / BUILDER:
PULTE HOMES
1900 EAST GOLF ROAD, SUITE 300
SCHAUMBURG, IL 60173
CONTACT: ROB GETZ

SURVEYOR / CIVIL ENGINEER:
HAEGER ENGINEERING
100 EAST STATE PARKWAY
SCHAUMBURG, IL 60173
TEL (847) 394-6600
CONTACT: MIKE ANDERSON

PLANNER / LANDSCAPE ARCHITECT:
DICKSON DESIGN STUDIO, INC.
9 CRYSTAL LAKE ROAD, SUITE 110
LAKE IN THE HILLS, IL 60156
TEL (224) 241-8181
CONTACT: SHARON DICKSON / JEFF TORRENS

ARBORIST:
DAVEY RESOURCE GROUP, INC.
NATURAL RESOURCE CONSULTING
TEL (414) 517-1695
CONTACT: PETE SORENSEN

ECOLOGIST:
INDIGO ECOLOGICAL DESIGN
P.O. BOX 26
ALGONQUIN, IL 60102
TEL (810) 923-6582
CONTACT: STACEY LIBRA

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PROJECT TEAM
- L0.2** NOTES: TREE PRESERVATION
DETAIL: TREE PROTECTION FENCE
DETAIL: PLANTING
NOTES: GENERAL LANDSCAPE
- L1.0** SHEET KEY -
TREE PRESERVATION & REMOVAL PLAN
LANDSCAPE PLAN
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SUMMARY: TREE REMOVAL & REPLACEMENT
- L1.2** TREE PRESERVATION & REMOVAL PLAN - NORTH
- L1.3** TREE INVENTORY - ONSITE & OFFSITE
RATING SCALE: TREE CONDITION / FORM
ARBORIST METHODS
- L2.1** FINAL LANDSCAPE PLAN - SOUTH
PLANT & MATERIALS LIST: OVERALL
- L2.2** FINAL LANDSCAPE PLAN - NORTH
- L2.3** LANDSCAPE PLAN DETAILS: AMENITY AREA
PLANT & MATERIALS LIST: AMENITY AREAS
NORTH
SOUTH & ENTRANCE AREA
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- L2.4** LANDSCAPE PLAN DETAILS: FOUNDATIONS
PLANT & MATERIALS LISTS: FOUNDATIONS
TYPICAL 2-UNIT FOUNDATION
TYPICAL 3-UNIT FOUNDATION
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- L2.7** STORMWATER MANAGEMENT AREA
PLANT & MATERIALS LIST
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- L3.1** SPECIFICATIONS & DETAILS
(SITE FEATURES:
SEATING BENCH & MONUMENT SIGN
- L3.2** SPECIFICATIONS & DETAILS
(FENCING)



**dickson design
STUDIO**

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

**TREE PRESERVATION / REMOVAL
& FINAL LANDSCAPE PLAN**

SHEET NUMBER

L0.1

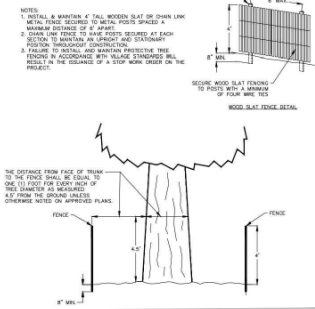
NOTES: TREE PRESERVATION

1. TREE PRESERVATION:

- ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED TREE PRESERVATION PLAN. IT IS STRONGLY RECOMMENDED TO DOCUMENT GOOD STEWARDSHIP PRACTICES DURING CONSTRUCTION. IF REQUIRED, PRIOR TO COMMENCING ANY DEMOLITION / CONSTRUCTION ACTIVITY, NOTIFY MUNICIPAL FORESTRY DEPARTMENT (NOTIFY AT LEAST 48 HOURS IN ADVANCE OF WORK).**
- AN APPROVED TREE PRESERVATION PLAN MUST BE AVAILABLE AT THE BUILDING SITE.
- PRIOR TO ANY DEMOLITION / CONSTRUCTION ACTIVITY, INSTALL TREE PRESERVATION FENCE FOR ALL PROTECTED, AND PERFORM ROOT PRUNING FOR ALL TREES THAT HAVE CONSTRUCTION ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ) AT THE LOCATION OF TREE PRESERVATION FENCE.
- TREE PRESERVATION FENCE TO BE LOCATED AS INDICATED ON PLAN. FENCE TO PREVENT WOUNDS TO THE TREE & SOIL COMPACTION. POST THE FENCE WITH A SIGN STATING, "TREE PROTECTION ZONE - KEEP OUT".
- ALL REQUIRED TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE TIME OF FINISH GRADING AND LANDSCAPING.
- NO TRENCHING SHOULD OCCUR WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY, UNLESS PRE-APPROVED BY PROJECT ARBORIST &/OR PROJECT LANDSCAPE ARCHITECT.
- NO GRADE CHANGES SHOULD OCCUR WITHIN THE TREE PROTECTION ZONES OF TREES FOR ANY CONSTRUCTION ACTIVITY.
- SHOULD IT BE NECESSARY TO TRENCH WITHIN THE CRZ FOR UTILITIES, INCLUDING DISCONNECTION OR CAPPING OF EXISTING UTILITIES, ALL TRENCHES SHALL BE HAND DUG. NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT, UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. ALL SMALLER ROOTS THAT REQUIRE CUTTING, SHALL BE CUT WITH A SHARP PRUNING SAW. CUTS SHALL BE MADE FLUSH WITH THE SIDE OF THE TRENCH. IF AT ANY TIME, TWENTY-FIVE PERCENT (25%) OF THE AREA WITHIN THE CRZ IS BEING SEPARATED FROM THE TREE BY A TRENCH, THEN THE LINE SHALL BE EITHER RELOCATED OR INSTALLED USING TRENCH-LESS METHODS.
- LOCATE THE PROPOSED WATER AND SEWER LINES OUTSIDE OF THE TREE PROTECTION ZONE OR INSTALL THE SEWER AND WATER UTILITIES USING TRENCH-LESS METHODS. AUGER THROUGH THE ENTIRE TREE PROTECTION ZONE, LOCATE PITS OUTSIDE OF THE TREE PROTECTION ZONE.
- THE PROPOSED WATER SERVICE LINE VALVES (B-BOXES), ARE TO BE TEN FEET (10') FROM PRESERVED TREES. IF FUTURE UTILITY EXCAVATIONS NEED TO OCCUR, THIS REDUCES THE CHANCES OF EXTENSIVE STEM OR ROOT DAMAGE, WHICH COULD LEAD TO TREE DECLINE.
- AT NO TIME SHALL ANY EQUIPMENT, MATERIALS, SUPPLIES OR FILL SOIL BE ALLOWED IN THE TREE PROTECTION ZONE(S). DO NOT STORE EXCAVATED SOIL OR THE DUMPSTER WITHIN THE DRIP-LINE (CRZ) OF THE PRESERVED TREE(S).
- REMOVAL OF ANY HARDSCAPE WITHIN THE TREE PROTECTION ZONES WILL BE DONE BY HAND.**
- THE TREE PROTECTION ZONE MAY BE MULCHED TO IMPROVE THE GROWING CONDITIONS FOR TREE ROOTS AND TO MINIMIZE MAINTENANCE OF THE LAWN.
- PROTECTIVE MEASURES SHALL BE IMPLEMENTED FOR ALL OFF-SITE TREES.
- EXISTING TREES SHOWN TO REMAIN SHALL BE PRESERVED TO THE GREATEST EXTENT PRACTICAL, PENDING FINAL SITE PLAN, FINAL CIVIL ENGINEERING, AND/OR ANY UNFORESEEN ISSUES.

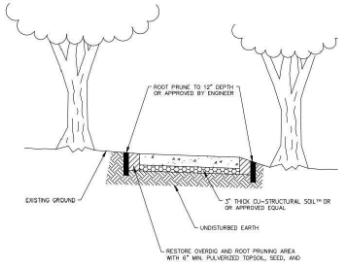
DETAIL: TREE PROTECTION FENCE

(Detail provided by Village of Northbrook)

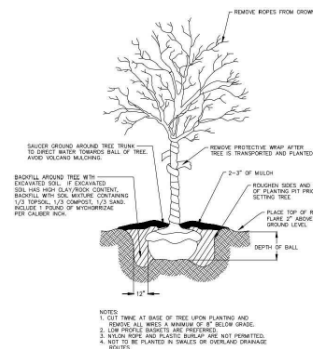


DETAILS: PLANTING

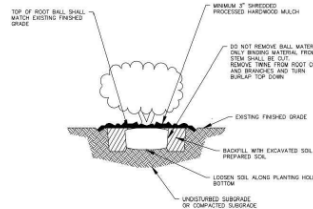
(Some details provided by Village of Northbrook)



**TREE PLANTING - PCC SIDEWALK UNDER DRIP-LINE
NOT TO SCALE**



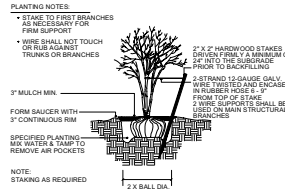
**TREE PLANTING & STAKING
NOT TO SCALE**



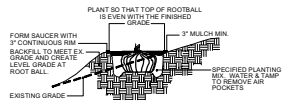
**SHRUB PLANTING
NOT TO SCALE**



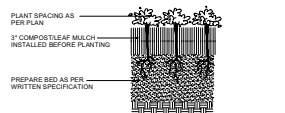
**EVERGREEN TREE PLANTING
NOT TO SCALE**



**MULTI-TRUNK TREE STAKING
NOT TO SCALE**



**HILLSIDE PLANTING
NOT TO SCALE**



**PERENNIAL PLANTING
NOT TO SCALE**

NOTES: GENERAL LANDSCAPE

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STANDARDS AND CODES.
- CALL J.U.L.I.E. UTILITY LOCATING SERVICE (TEL 800.892.0123), 48 HOURS PRIOR TO THE START OF ANY DIGGING.
- GENERAL PLANT NOTES:
 - ALL PLANT MATERIAL SHALL CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK.
 - ALL PLANT MATERIAL SHALL BE MAINTAINED ALIVE, HEALTHY, AND FREE FROM DISEASE AND PESTS.
 - ALL NEW PLANT MATERIAL SHALL BE FROM A LOCAL SOURCE WHENEVER POSSIBLE (LESS THAN 50 MILES).
 - PLANTS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORM / HABIT. PLANTS SHALL NOT BE PRUNED/HEDGE UNLESS ABSOLUTELY NECESSARY (DUE TO VISIBILITY OR HAZARD OBSTRUCTION).
 - ALL LANDSCAPE AREAS SHALL BE FREE OF WEEDS, LITTER, AND SIMILAR SIGNS OF DEFERRED MAINTENANCE.
- LOCATIONS OF PROPOSED PLANT MATERIAL MAY BE ADJUSTED AT TIME OF INSTALLATION DUE TO FINAL ENGINEERING AND FINAL LOCATION OF SITE UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SPREADING TOPSOIL (8\"-12\" DEEP), FINE GRADING, AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS. ALL SOILS SHALL BE FREE OF CONSTRUCTION DEBRIS, PRIOR TO INSTALLING ANY PLANT MATERIAL.
- PRIOR TO SPREADING TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM GRADES INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.
- ALL SHRUB, GROUNDCOVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE PREPARED WITH A SOIL AMENDMENT MIX - 1/3 TOPSOIL, 1/3 MUSHROOM COMPOST, AND 1/3 TORPEDO SAND. MATERIAL SHALL BE ROTO-TILLED JUST PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL PLANTING ISLANDS SHALL BE MOUNDED TO PROVIDE POSITIVE DRAINAGE.
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, NECESS METAL OR OTHER BORDER IS SPECIFIED.
- ALL PLANTING BED AREAS SHALL MAINTAIN A MAX. 3\" DEEP LAYER OF SHREDED HARDWOOD MULCH (COLOR: NON-DEAD, BROWN).
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH LANDSCAPE MAINTENANCE CONTRACTOR, TO ENSURE PROPER WATERING OF PLANTED AND SODDED AREAS AFTER INITIAL INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE ANY REDD OF COMPLETED LANDSCAPE WORK AND DAMAGE TO PLANT MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN LAYOUT WORK. UPON REQUEST, LANDSCAPE ARCHITECT SHALL BE AVAILABLE TO ASSIST/APPROVE CONTRACTOR LAYOUT.
- EVERY ATTEMPT HAS BEEN MADE TO DEPICT ALL EXISTING UTILITY LINES. CONTRACTOR SHALL USE PRECAUTION WHEN DIGGING. CONTRACTOR SHALL MAKE THEMSELVES THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING, VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- PLANT LIST QUANTITIES PROVIDED AT TIME OF FINAL PLANS ARE APPROXIMATIONS. CONTRACTORS ARE RESPONSIBLE FOR COMPLETING THEIR OWN QUANTITY TAKE-OFFS. IF A DISCREPANCY IS FOUND BETWEEN THE PLAN AND THE PLANT LIST, THEN THE PLAN SHALL PREVAIL.
- PLANT SUBSTITUTIONS ARE ALLOWED DUE TO PLANT AVAILABILITY OR PLANTING TIME OF YEAR, ONLY WITH THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT. IF SUBSTITUTIONS ARE MADE WITHOUT PRIOR CONSENT, THE LANDSCAPE ARCHITECT MAINTAINS THE RIGHT TO REJECT MATERIAL IN THE FIELD, AT THE COST TO THE CONTRACTOR.
- CONTRACTOR TO PROVIDE TEST OF EXISTING AND IMPORTED SOILS PER SPECIFICATIONS. PLANTING SOIL SHALL BE AMENDED PER SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL TURF SHALL BE KENTUCKY BLUEGRASS BLEND SOD (MINERAL, NOT PEAT). PER VILLAGES SEED IS NOT ALLOWED.
- CONTRACTOR SHALL RESTORE LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- LANDSCAPE DETAILS SHOWN ARE FOR DESIGN INTENT ONLY. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY. CONTRACTOR IS RESPONSIBLE FOR ERECTING AND INSTALLING PROPERLY BUILT AMENITIES PER CODE, PER SITE CONDITIONS (FINAL GRADING & UTILITY LOCATIONS), AND PER AREA CLIMATE CONDITIONS. ALL LANDSCAPE SITE DETAILS FOR STRUCTURES AND FOOTINGS SHALL BE REVIEWED & APPROVED BY A STRUCTURAL ENGINEER.
- CONTRACTOR INSTALLATION BIDS SHALL INCLUDE A ONE-YEAR WARRANTY ON ALL PLANT MATERIAL.
- (IF APPLICABLE) CONTRACTOR INSTALLATION BIDS SHALL INCLUDE A THREE-YEAR MONITORING AND MAINTENANCE PROGRAM ON ALL NATURALIZED DETENTION AREAS.



**dickson design
STUDIO**
9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

**THE RESERVE AT THE BROOK
3700 DUNDUE ROAD - NORTHBROOK, IL**

**TREE PRESERVATION / REMOVAL
& FINAL LANDSCAPE PLAN
- NOTES & DETAILS**

SHEET NUMBER

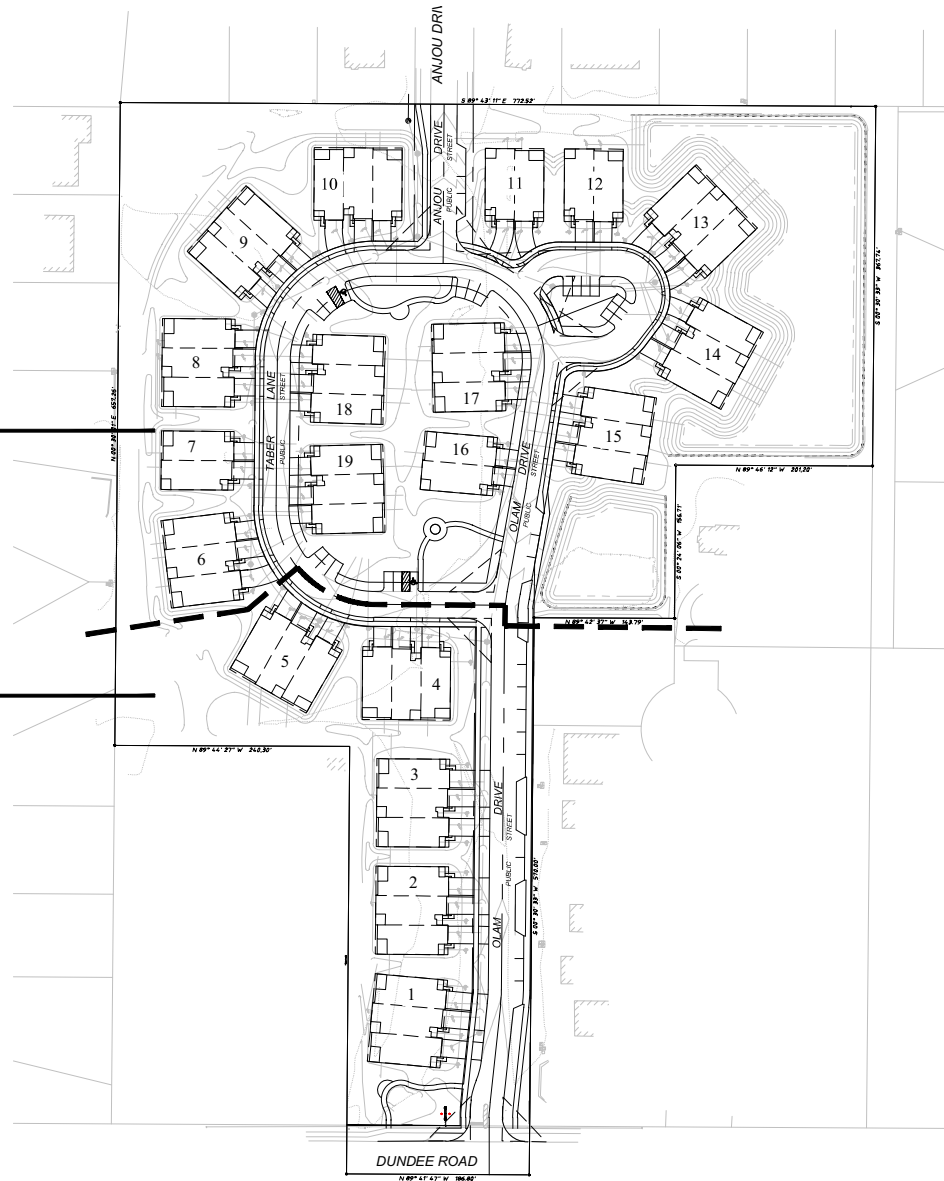
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TREE PRESERVATION / REMOVAL
SHEET L1.2

FINAL LANDSCAPE PLAN
SHEET L2.2

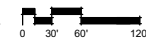
TREE PRESERVATION / REMOVAL
SHEET L1.1

FINAL LANDSCAPE PLAN
SHEET L2.1



SHEET KEY: TREE PRESERVATION & REMOVAL / FINAL LANDSCAPE PLAN

SCALE: 1" = 60'-0"



**dickson design
STUDIO**

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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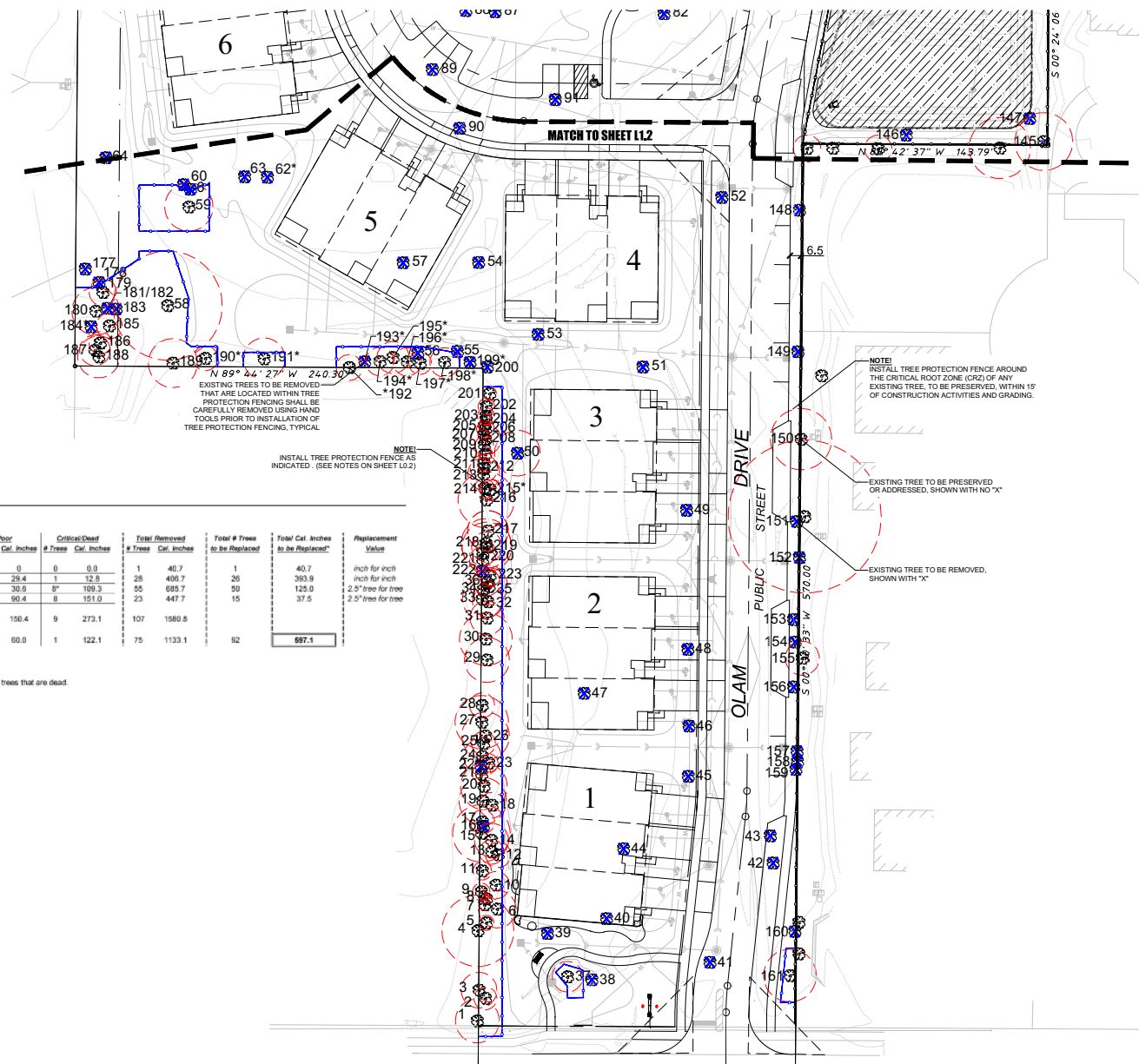
PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

**TREE PRESERVATION / REMOVAL
& FINAL LANDSCAPE PLAN
- SHEET KEY**

SHEET NUMBER

L1.0



SUMMARY: TREE REMOVAL & REPLACEMENT

EXISTING TREE REMOVAL SUMMARY

Condition:	Excellent		Good		Fair		Poor		Critical/Dead		Total Removed		Total # Trees to be Replaced		Total Cal. Inches to be Replaced*		Replacement Value
	# Trees	Cal. inches	# Trees	Cal. inches	# Trees	Cal. inches	# Trees	Cal. inches	# Trees	Cal. inches	# Trees	Cal. inches	# Trees	Cal. inches	# Trees	Cal. inches	
Heritage Trees	0	0	0	0	1	40.7	0	0	0	0.0	1	40.7	1		40.7		inch for inch
Landmark Trees	1*	0	12	147.7	13	216.8	1	29.4	1	12.8	28	406.7	26		363.9		inch for inch
Protected Trees	0	0	18*	209	28*	336.9	4	30.6	8*	109.3	55	685.7	50		125.0		2.5" tree for tree
Nuisance / Other	0	0	0	0	9	206.3	6	90.4	8	151.0	23	447.7	15		37.5		2.5" tree for tree
Total Trees	0	0	27	396.7	51	800.6	11	150.4	9	273.1	107	1580.8	92		697.1		
Total Trees Requiring Replacement	0	0	27	396.7	42	594.3	5	60.0	1	122.1	75	1133.1	92		697.1		

*NOTE!

1. Trees that do not require replacement: trees with a caliper less than 6", trees in critical condition, and trees that are dead.
2. Caliper inches for multi-stemmed trees are based on largest trunk caliper.

REPLACEMENT TREE SUMMARY

	Size	Replacement Qty	Replacement Value
Shade Trees	3" cal.	3" caliper	64
Columnar Shade Trees	3" cal.	3" caliper	15
Evergreen Trees	10' high	3" caliper	36
Fasciglate Evergreen Trees	10' high	3" caliper	24
Ornamental Trees	8' high	2.5" caliper	29
	10' high	3" caliper	16
Total Replacement Trees		204	697.6



TREE PRESERVATION & REMOVAL PLAN - SOUTH

SCALE: 1" = 30'-0"



dickson design
STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
2.	
3.	
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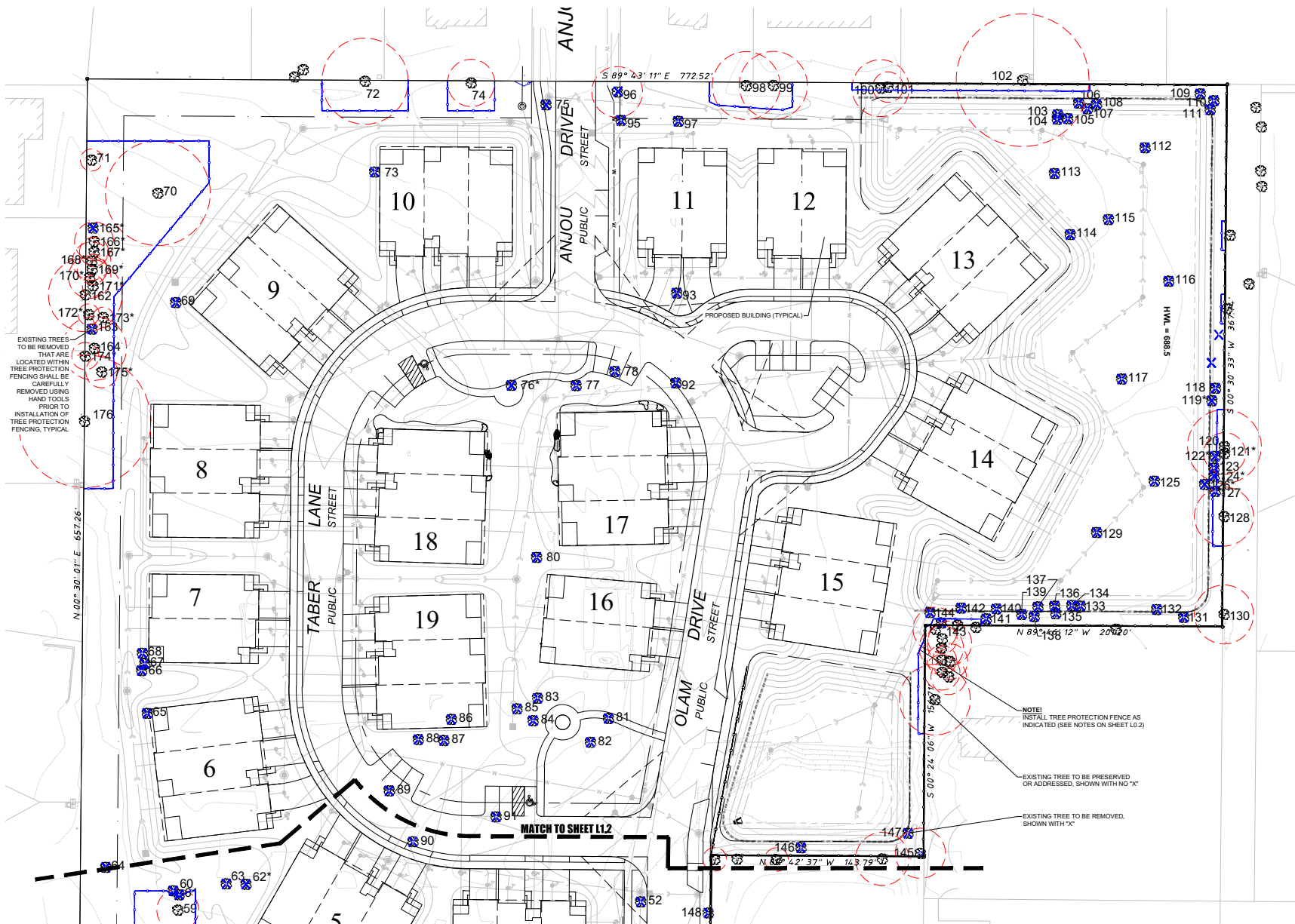
PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

TREE PRESERVATION / REMOVAL
- SOUTH

SHEET NUMBER

L1.1



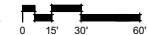
EXISTING TREES TO BE REMOVED THAT ARE LOCATED WITHIN TREE PROTECTION FENCING SHALL BE CAREFULLY REMOVED USING HAND TOOLS PRIOR TO INSTALLATION OF TREE PROTECTION FENCING, TYPICAL

NOTE:
INSTALL TREE PROTECTION FENCE AS INDICATED (SEE NOTES ON SHEET L0.2)
EXISTING TREE TO BE PRESERVED OR ADDRESSED, SHOWN WITH NO "X"
EXISTING TREE TO BE REMOVED, SHOWN WITH "X"



TREE PRESERVATION & REMOVAL PLAN - NORTH

SCALE: 1" = 30'-0"



**dickson design
STUDIO**

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

**THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL**

**TREE PRESERVATION / REMOVAL
- NORTH**

SHEET NUMBER

L1.2

TREE INVENTORY - ONSITE

Tag #	Common Name	Scientific Name	DBH	Condition	Category	Outcome
2	Norway maple	Acer platanoides	6.7	Fair	Protected	REMOVE
3	Norway maple	Acer platanoides	10.1	Fair	Protected	REMOVE
5	Juriper species	Juniperus spp.	8.9	Fair	Protected	REMOVE
6	Black ash	Fraxinus nigra	11.1	Fair	Protected	REMOVE
7	Juriper species	Juniperus spp.	6.7	Fair	Protected	REMOVE
8	Juriper species	Juniperus spp.	1.6	Fair	Protected	REMOVE
9	Norway maple	Acer platanoides	5.1	Good	-	REMOVE
10	White mulberry	Morus alba	7.7, 7.8	Fair	Nuisance	REMOVE
11	Norway maple	Acer platanoides	5.1	Good	REMOVE	REMOVE
12	Norway maple	Acer platanoides	7.4	Good	Protected	REMOVE
13	Norway maple	Acer platanoides	7.2	Fair	Protected	REMOVE
14	Norway maple	Acer platanoides	8.1, 8.6, 8.5	Fair	Protected	REMOVE
15	Austrian pine	Pinus nigra	16.9	Fair	Protected	REMOVE
16	Austrian pine	Pinus nigra	17.1	Dead	Protected	REMOVE
17	Norway maple	Acer platanoides	7.1	Fair	Protected	REMOVE
18	Norway maple	Acer platanoides	7.5	Good	Protected	REMOVE
19	Austrian pine	Pinus nigra	13.9	Fair	Protected	REMOVE
20	Austrian pine	Pinus nigra	13.7	Fair	Protected	REMOVE
21	Juriper species	Juniperus spp.	11.0	Good	Protected	REMOVE
22	Juriper species	Juniperus spp.	11.0	Dead	Protected	REMOVE
23	Norway maple	Acer platanoides	5.4	Fair	Protected	REMOVE
24	Austrian pine	Pinus nigra	11.0	Fair	Protected	REMOVE
25	Norway maple	Acer platanoides	5.5, 5.5	Fair	Protected	REMOVE
26	Norway maple	Acer platanoides	16.7, 16.5	Fair	Protected	REMOVE
27	Douglas fir	Pseudotsuga menziesii	10.7	Fair	Landmark	REMOVE
28	Juriper species	Juniperus spp.	14.7	Fair	Protected	REMOVE
29	Norway maple	Acer platanoides	13.7	Fair	Protected	REMOVE
30	Norway maple	Acer platanoides	15.1	Fair	Protected	REMOVE
31	Norway maple	Acer platanoides	10.0	Fair	Protected	REMOVE
32	Norway maple	Acer platanoides	9.0	Fair	Protected	REMOVE
33	Iron oak	Quercus palmata	15.5	Fair	Protected	REMOVE
34	Northern white cedar	Thuja occidentalis	7.9	Poor	Protected	REMOVE
35	Norway maple	Acer platanoides	10.9	Fair	Protected	REMOVE
36	Norway maple	Acer platanoides	7.2	Fair	Protected	REMOVE
37	Blue spruce	Pinus pungens	9.0	Good	Protected	REMOVE
38	Blue spruce	Pinus pungens	9.0	Good	Protected	REMOVE
39	Blue spruce	Pinus pungens	10.9	Dead	Protected	REMOVE
40	Crochagga	Makia spp.	5.3, 5.3, 5.3, 5.3, 2.2, 2.8	Fair	Protected	REMOVE
41	Norway maple	Acer platanoides	13.2	Fair	Protected	REMOVE
42	Spaced alder	Alnus incana	4.1, 3.4, 3.3	Good	Protected	REMOVE
43	Spaced alder	Alnus incana	4.6, 2.3, 2.8	Critical	Protected	REMOVE
44	Crochagga	Makia spp.	7.2	Fair	Protected	REMOVE
45	Callery pear	Pyrus calleryana	13.9	Good	Protected	REMOVE
46	Callery pear	Pyrus calleryana	11.9	Good	Protected	REMOVE
47	Red maple	Acer rubrum	3.7	Excellent	Future plant	REMOVE
48	Pin oak	Quercus palustris	24.6	Fair	Landmark	REMOVE
49	Pin oak	Quercus palustris	24.1	Fair	Landmark	REMOVE
50	Norway maple	Acer platanoides	13.6	Fair	Protected	REMOVE
51	Norway maple	Acer platanoides	13.6	Fair	Protected	REMOVE
52	Weeping willow	Salix alba	23.2	Fair	Nuisance	REMOVE
53	Red oak	Quercus macrocarpa	13.9	Fair	Landmark	REMOVE
54	Norway maple	Acer platanoides	12.9	Fair	Landmark	REMOVE
55	Siberian elm	Ulmus pumila	17.7	Critical	Nuisance	REMOVE
56	Siberian elm	Ulmus pumila	16.1	Fair	Nuisance	REMOVE
57	Norway maple	Acer platanoides	12.8	Dead	Landmark	REMOVE
58	Eastern cottonwood	Populus deltoides	12.1	Fair	Landmark	REMOVE
59	Red oak	Quercus macrocarpa	28.1	Good	Landmark	REMOVE
60	Eastern cottonwood	Populus deltoides	37.6	Fair	Nuisance	REMOVE
61	Juriper species	Juniperus spp.	4.5, 5.6	Fair	Protected	REMOVE
62	Ginkgo	Ginkgo biloba	10.5	Good	Protected	REMOVE
63	Juriper species	Juniperus spp.	36.8, 8.5, 4.7	Fair	Protected	REMOVE
64	Siberian elm	Ulmus pumila	23.7	Poor	Nuisance	REMOVE
65	Red oak	Quercus macrocarpa	18.6	Fair	Landmark	REMOVE
66	Red oak	Quercus macrocarpa	17.8	Fair	Landmark	REMOVE
67	Red oak	Quercus macrocarpa	14.8	Fair	Landmark	REMOVE
68	Northern white cedar	Thuja occidentalis	26.4	Poor	Nuisance	REMOVE
69	Northern white cedar	Thuja occidentalis	35.5	Fair	Nuisance	REMOVE
70	Red oak	Quercus macrocarpa	7.5	Good	Protected	REMOVE
71	Silver maple	Acer spicatum	26.2	Fair	Protected	REMOVE
72	Eastern cottonwood	Populus deltoides	42.8	Fair	Nuisance	REMOVE
73	White mulberry	Morus alba	11.8, 14.6	Fair	Nuisance	REMOVE
74	Northern white cedar	Thuja occidentalis	6.5, 4.5, 3.7, 2.8, 7.8	Good	Landmark	REMOVE
75	Blue spruce	Pinus pungens	34.8	Critical	Protected	REMOVE
76	Northern red oak	Quercus rubra	29.7	Good	Landmark	REMOVE
77	Northern red oak	Quercus rubra	29.6	Fair	Landmark	REMOVE
78	Blue spruce	Pinus pungens	8.4	Good	Protected	REMOVE
79	Callery pear	Pyrus calleryana	17.9	Fair	Protected	REMOVE
80	Blue spruce	Pinus pungens	8.8, 13.7, 1.4, 3.6	Critical	Protected	REMOVE
81	Crochagga	Makia spp.	4.4, 4.6, 7.4, 3.6	Fair	Protected	REMOVE
82	Asian white birch	Betula papyrifera	2.8, 3.2, 1.3, 1.4	Fair	Protected	REMOVE
83	Asian white birch	Betula papyrifera	2.8, 1.2, 1.3, 1.4	Good	Protected	REMOVE
84	Asian white birch	Betula papyrifera	4.2, 1.8, 3.5, 3.2	Good	Protected	REMOVE
85	Northern white cedar	Thuja occidentalis	3.3, 8.1, 6.1, 7.3, 3.5, 4.9, 4.5	Good	Landmark	REMOVE
86	Northern white cedar	Thuja occidentalis	7.7, 7.7, 5.3, 3.8, 8.9	Good	Landmark	REMOVE
87	Northern white cedar	Thuja occidentalis	6.2, 7.4, 1.8, 4.6, 3.5, 4.3, 1.1, 5.7	Good	Landmark	REMOVE
88	Northern white cedar	Thuja occidentalis	6.1, 4.5, 5.6	Good	Landmark	REMOVE
89	Norway spruce	Picea canadensis	15.5	Good	Protected	REMOVE
90	Norway spruce	Picea canadensis	14.4	Good	Protected	REMOVE
91	Norway spruce	Picea canadensis	8.7	Good	Protected	REMOVE
92	Norway spruce	Picea canadensis	7.3	Good	Protected	REMOVE
93	Norway spruce	Picea canadensis	14.4	Good	Protected	REMOVE
94	Pin oak	Quercus palustris	23.9	Good	Landmark	REMOVE
95	Northern white cedar	Thuja occidentalis	5.7, 5.5, 6.0	Good	Landmark	REMOVE
96	Limdbark hickory	Carya chaste	20.4	Good	Landmark	REMOVE
97	Shagbark hickory	Carya chaste	22.0	Good	Landmark	REMOVE
98	Pin oak	Quercus palustris	28.1	Poor	Landmark	REMOVE
99	Shagbark hickory	Carya chaste	20.4	Good	Landmark	REMOVE
100	Shagbark hickory	Carya chaste	18.3	Good	Landmark	REMOVE
101	Shagbark hickory	Carya chaste	9.3	Good	Landmark	REMOVE
102	Shagbark hickory	Carya chaste	15.4	Good	Landmark	REMOVE
103	Northern hickory	Carya ovata	11.1	Fair	Landmark	REMOVE
104	Pin oak	Quercus palustris	13.3	Fair	Landmark	REMOVE
105	Shagbark hickory	Carya chaste	14.2	Good	Landmark	REMOVE
106	Eastern cottonwood	Populus deltoides	17.4	Fair	Nuisance	REMOVE
107	Eastern cottonwood	Populus deltoides	22.5	Fair	Nuisance	REMOVE

TREE INVENTORY - OFFSITE

Tag #	Common Name	Scientific Name	DBH	Condition	Category	Outcome
1	American elm	Ulmus americana	12.9	Fair	Protected	ADDRESS
2	Red maple	Acer rubrum	23.1	Fair	Landmark	ADDRESS
102	Silver maple	Acer saccharinum	39.4	Fair	Protected	ADDRESS
120	American basswood	Tilia americana	18.8	Fair	Landmark	ADDRESS
121	American basswood	Tilia americana	14.1	Fair	Landmark	ADDRESS
130	American basswood	Tilia americana	5, 8, 8, 6, 11.8, 13.7, 12.2, 8.4	Poor	Landmark	ADDRESS
150	European alder	Alnus glutinosa	14.6, 10.2, 10.2, 9.9	Fair	Protected	ADDRESS
155	Crochagga	Makia spp.	4.8, 4.5, 7.3, 5.0	Fair	Protected	ADDRESS
162	Norway maple	Acer platanoides	7.6	Fair	Protected	ADDRESS

RATING SCALE: TREE CONDITION / FORM

Excellent

The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and required no remedial action.

Good

The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.

Fair

The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not eminently lethal to the tree, and no significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to insure continued health.

Poor

The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defect, insects, disease or other problems that can be eminently lethal to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.

Critical

The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely infested with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.

Dead

Less than 10% of the tree shows signs of life.

ARBORIST METHODS FOR ADDRESSING EXISTING TREES

For The Reserve at the Brook the following techniques and strategies are recommended to be followed to ensure the best possible success in retaining existing trees:

Protective Fencing

All trees to be preserved on site shall be identified based on the tree preservation plan. Once identified, tree protection fencing shall be installed in accordance to the tree preservation plan and all village codes. Where trees are grouped in clusters, protective fencing shall be installed, as shown on the tree preservation plan, in addition to the tree protection fencing, a protective sedimentation fence shall be installed at the drip-line of all significant trees or protected trees which are located downstage of any clearing, excavation and/or construction activity. Fencing shall be installed prior to any construction activities, including tree removal. For trees at or near the property lines, fencing shall only be installed on the Reserve at the Brook property side.

For trees identified for preservation that will have construction activity occurring within the critical root zone, including those trees identified to be further addressed, protective fencing shall be installed at the limit of construction.

At no time shall any construction activity, equipment, parking/placement of vehicles, materials, spools, or debris be stored within the critical root zone. In addition, no crushed limestone, hydrocarbons or other materials detrimental to trees shall be stored on the uphill side adjacent to protected trees.

Protective fencing shall remain in place throughout the construction process.

Tree Removal

Once protective fencing has been installed, removal of existing trees as identified on the tree preservation can commence. Trees and stumps shall be removed and can be chipped on site for use as mulch. For tree removals adjacent to protective fencing or vegetation, at no time shall vegetation be forcibly removed in such a manner that would damage the root system of surrounding preserved vegetation.

Mulching

Chipped tree mulch shall be spread at a depth of 12"-18" between preserved tree trunks and the protective fencing, to lessen soil/root compaction.

Root Pruning

Root pruning shall occur along the outside edge of the protective fencing in circumstances where either the limit of construction encroaches on the critical root zone, or where trees that are being removed are directly adjacent to trees being preserved. Any existing tree roots encountered during construction shall be clean cut, no ripping nor tearing of roots is acceptable.

Fertilization

All trees that are being root pruned shall also receive fertilization to promote new root growth.

Additional Landscaping

The landscape plan has been designed in a way that minimizes the potential damage to roots by limiting any planting within the critical root zones, including those trees identified to be further addressed. All landscape work to be conducted within the protective fencing zone shall be hand-dig only.

All work regarding the removal and protection of existing trees shall be conducted by or under the supervision of an ISA Certified Arborist.



9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVIEWS

	1.	5/21/25 PER STAFF COMMENTS
	2.	
	3.	
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	10.	

PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDAS ROAD - NORTHBROOK, IL

TREE PRESERVATION / REMOVAL
- TREE INVENTORY, ARBORIST
METHODS, RATING SCALE

SHEET NUMBER

L1.3

PLANT & MATERIALS LIST: OVERALL

OVERALL SITE PLANT LIST

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME	GENUS	SPECIES	CULTIVAR	REPLACEMENT INCHES
Shade Trees								
CCA	3	3" caliper	<i>Carpinus caroliniana</i>	American Hornbeam	4.41%	(1)	1.47%	1.47%
CO	5	3" caliper	<i>Celtis occidentalis</i>	Hickberry	2.45%	2.45%	2.45%	15
COV	7	3" caliper	<i>Carya ovata</i>	Shagbark Hickory	3.43%	3.43%	3.43%	21
CS	7	3" caliper	<i>Callicya speciosa</i>	Northern Catalpa	3.43%	3.43%	3.43%	21
GDE	6	3" caliper	<i>Quercus macrocarpa</i>	Swamp White Oak	2.94%	2.94%	2.94%	18
LS	5	3" caliper	<i>Liquidambar styraciflua</i>	Sweetgum	2.45%	2.45%	2.45%	15
MD	6	3" caliper	<i>Morus nigra</i>	Black Mulberry	2.45%	2.45%	2.45%	15
NS	5	3" caliper	<i>Nyssa sylvatica</i>	Black Tupelo	2.45%	2.45%	2.45%	15
PAE	5	3" caliper	<i>Platanus acerifolia</i>	London Plane Tree	2.45%	2.45%	2.45%	15
QD	7	3" caliper	<i>Quercus bicolor</i>	Swamp White Oak	5.88%	(2)	3.43%	21
QM	5	3" caliper	<i>Quercus macrocarpa</i>	Bur Oak	3.43%	(3)	2.45%	15
TSS	7	3" caliper	<i>Tilia tomentosa</i>	Showering Silver Linden	2.45%	2.45%	2.45%	15
TSS	5	3" caliper	<i>Tilia tomentosa</i>	Showering Silver Linden	2.45%	2.45%	2.45%	15
UM	6	3" caliper	<i>Ulmus x 'Morton'</i>	Morton Accolade Elm	2.94%	2.94%	2.94%	18
Columnar Shade Trees								
AMSS	5	3" caliper	<i>Acer miyabei</i>	State Street Miyabe Maple	2.45%	2.45%	2.45%	15
CBT	4	3" caliper	<i>Cornus latifolia</i>	Fastigiate European Hornbeam	1.96%	(1)	1.96%	12
GBS	6	3" caliper	<i>Ginkgo biloba</i>	Princeton Sentry Ginkgo (male species)	2.94%	2.94%	2.94%	18
Evergreen Trees								
AB	6	10' high	<i>Abies balsamea</i>	Balsam Fir	6.88%	(1)	2.94%	18
AC	8	10' high	<i>Alnus incana</i>	White Fir	3.92%	(1)	3.92%	24
PM	8	10' high	<i>Pseudotsuga menziesii</i>	Douglas Fir	3.92%	3.92%	3.92%	24
PO	6	10' high	<i>Picea canadensis</i>	Eastern Spruce	2.94%	2.94%	2.94%	18
TC	8	10' high	<i>Taxus canadensis</i>	Eastern Hemlock	3.92%	3.92%	3.92%	24
Fastigiate Evergreen Trees								
JV	8	10' high	<i>Juniperus virginiana</i>	Red Cedar	3.92%	3.92%	3.92%	24
PRYP	8	10' high	<i>Pinus resinosa</i>	White Pine	7.84%	(4)	3.92%	24
PSF	8	10' high	<i>Pinus strobus</i>	White Pine	3.92%	(4)	3.92%	24
Ornamental Trees								
AGAB	5	10' high	<i>Aster laevis</i>	Aster laevis	2.45%	2.45%	2.45%	15
BN	5	10' high	<i>Betula nigra</i>	Heritage River Birch	2.45%	2.45%	2.45%	15
CCR	6	8' high	<i>Cercis canadensis</i>	Eastern Redbud	2.94%	2.94%	2.94%	18
CCI	5	8' high	<i>Cornus ovata</i>	Shagbark Hickory	2.45%	2.45%	2.45%	15
HV	6	8' high	<i>Hamelia verticillata</i>	Florida Flame	2.94%	2.94%	2.94%	18
MSRS	6	10' high	<i>Malus domestica</i>	Royal Star Malus	2.94%	2.94%	2.94%	18
MB	5	8' high	<i>Malus x 'Serenity'</i>	Serenity Malus	2.45%	2.45%	2.45%	15
SRI	7	8' high	<i>Syringa reticulata</i>	Japanese Tree Lilac	3.43%	3.43%	3.43%	21
204 Total Number of Replacement Trees								
204 Total Number of Replacement Caliper Inches								
587.5								
Evergreen Shrubs								
PIE	10	36" high	<i>Pinus mugo</i>	Mini Mugo Pine	2.94%	2.94%	2.94%	18
PRGD	5	36" high	<i>Pinus rigida</i>	Scotch Pine	2.45%	2.45%	2.45%	15
Large Deciduous Shrubs								
CH	6	42" high	<i>Cornus alternifolia</i>	Spicebush	2.45%	2.45%	2.45%	15
HPL	6	7 Gal./20"	<i>Hydrangea paniculata</i>	Limelight Hydrangea	2.45%	2.45%	2.45%	15
HPT	6	7 Gal./20"	<i>Hydrangea paniculata</i>	Limelight Hydrangea	2.45%	2.45%	2.45%	15
HDA	6	7 Gal./20"	<i>Hydrangea paniculata</i>	Limelight Hydrangea	2.45%	2.45%	2.45%	15
SKM	6	36" high	<i>Syringa pinnatifida</i>	Peppermint Tree	2.45%	2.45%	2.45%	15
VC	6	36" high	<i>Viburnum cerasifolium</i>	Wine Viburnum	2.45%	2.45%	2.45%	15
WDA	12	36" high	<i>Wiburnum dentatum</i>	Wiburnum	2.45%	2.45%	2.45%	15
WLR	6	36" high	<i>Wiburnum florida</i>	Wiburnum	2.45%	2.45%	2.45%	15
Small Deciduous Shrubs								
AB	35	5 Gal./20"	<i>Aster laevis</i>	Aster laevis	2.45%	2.45%	2.45%	15
Ornamental Grasses								
SH	18	1 Gal.	<i>Sporobolus heterolepis</i>	Prarie Dropseed	2.45%	2.45%	2.45%	15
Detention Plantings								
-	64,485	S.F.	-	-	-	-	-	-
-	64,485	S.F.	-	-	-	-	-	-
Materials								
-	130	L.F.	-	-	-	-	-	-
-	23.6	L.F.	-	-	-	-	-	-
-	1,595	L.F.	-	-	-	-	-	-
-	6.25	C.Y.	-	-	-	-	-	-
-	13	C.Y.	-	-	-	-	-	-
-	36	C.Y.	-	-	-	-	-	-
-	17,465	S.Y.	-	-	-	-	-	-

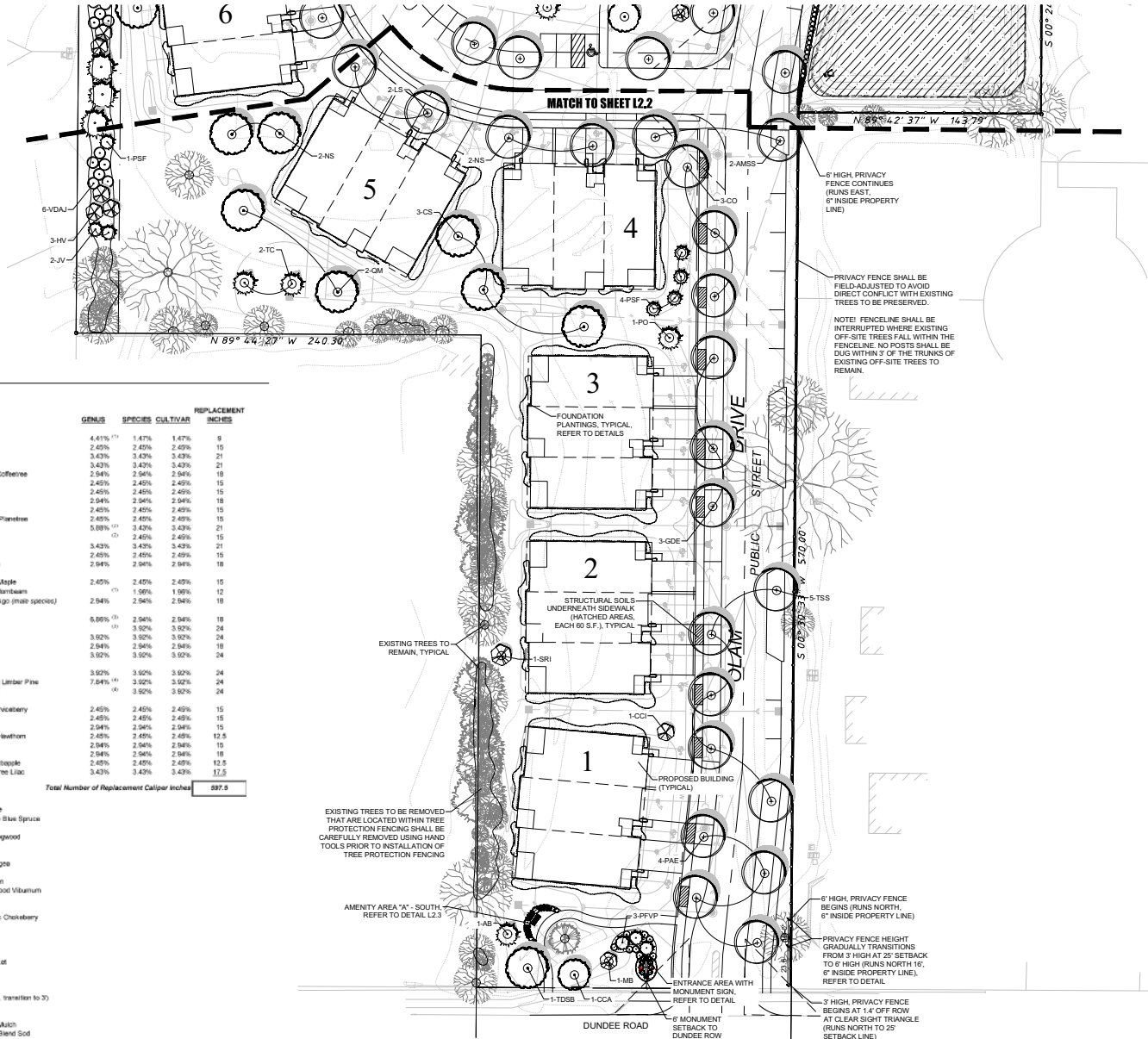
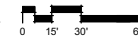
Notes:

- Included in *Carpinus* genus
- Included in *Quercus* genus
- Included in *Abies* genus
- Included in *Pinus* genus



LANDSCAPE PLAN - SOUTH

SCALE: 1" = 30'-0"



**dickson design
STUDIO**
9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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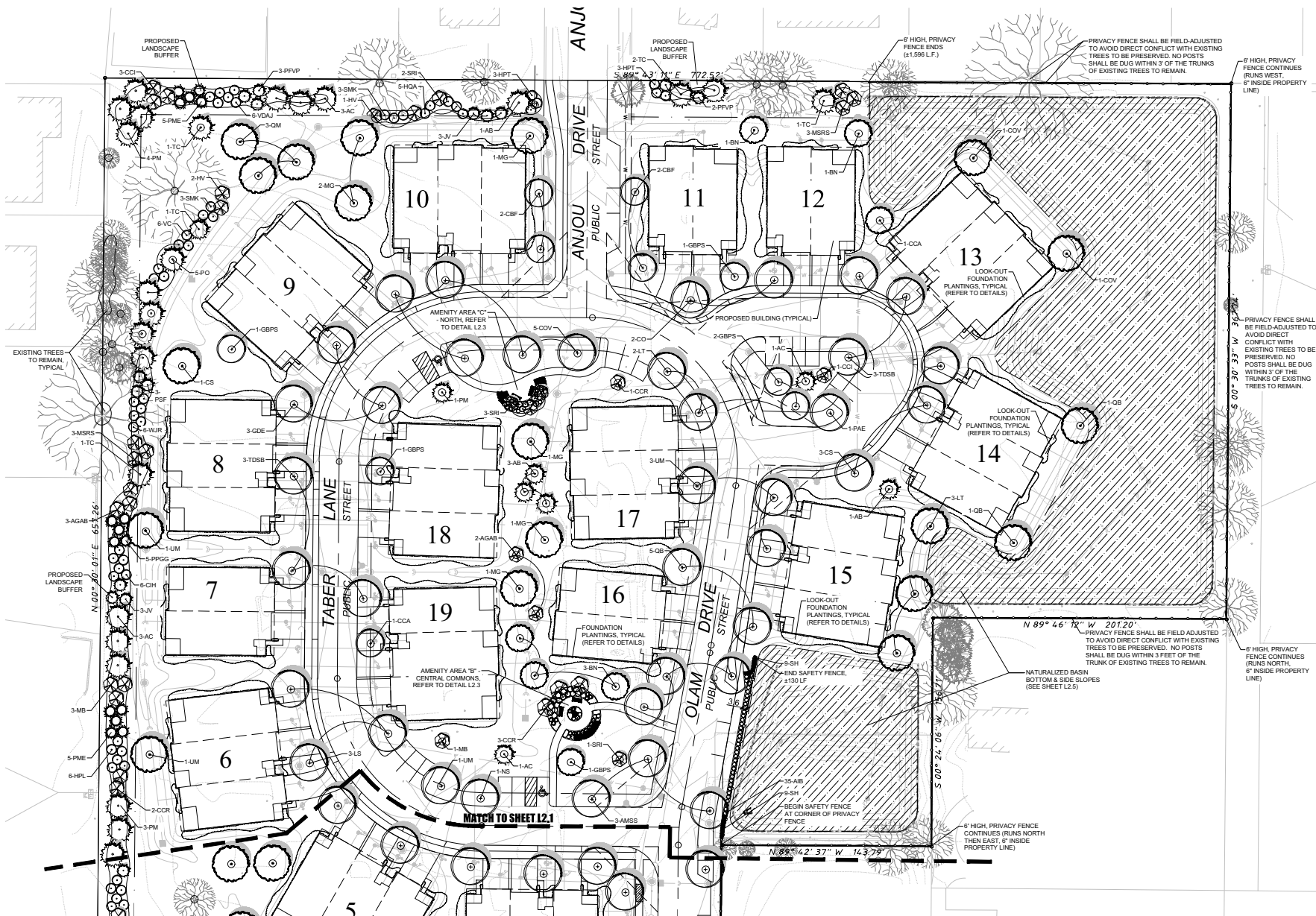
PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

**FINAL LANDSCAPE PLAN
- SOUTH**

SHEET NUMBER

L2.1



LANDSCAPE PLAN - NORTH

SCALE: 1" = 30'-0"



dickson design
STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- NORTH

SHEET NUMBER

L2.2

PLANT & MATERIALS LIST: AMENITY AREAS

AMENITY AREA, SOUTH & ENTRANCE AREA PLANT LIST

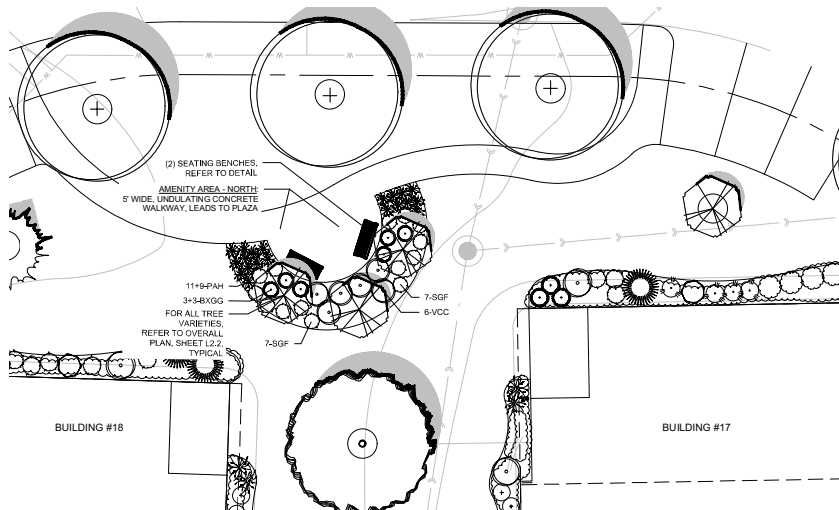
CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
Evergreen Shrubs				
BXGG	5	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
Deciduous Shrubs				
HPT	8	7 Gal./36"	Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea
SGF	4	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spiraea
VCC	2	7 Gal./36"	Viburnum carlesii 'Compactum'	Dwarf Koreanspice Viburnum
Ornamental Grasses				
PAH	15	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
PHM	6	3 Gal.	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass
Perennials				
RVL	39	1 Gal.	Rubickia fulgida var. speciosa	Vietle's Little Suzi Black-Eyed Susan
Materials				
-	1	C.Y.	-	Soil Amendments
-	3	C.Y.	-	Shredded Hardwood Mulch
Amenities				
-	1	EACH	-	Seating Bench
-	1	EACH	-	Monument Sign
-	2	EACH	-	Up-lights

AMENITY AREA, CENTRAL COMMONS PLANT LIST

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
Evergreen Shrubs				
BXGG	10	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
JVGO	6	24" wide	Juniperus virginiana 'Grey Owl'	Grey Owl Red Cedar
Deciduous Shrubs				
HAA	10	7 Gal./36"	Hydrangea aborescens 'Annabelle'	Annabelle Hydrangea
PDM	7	36" high	Physocarpus opulifolius 'Dorothy May'	Little Devil Common Ninebark
SGF	8	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spiraea
Ornamental Grasses				
PAH	24	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
PHM	3	3 Gal.	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass
Perennials				
NDW	12	1 Gal.	Nepeta faassenii 'Blue Wonder'	Blue Wonder Catmint
RVL	12	1 Gal.	Rubickia fulgida var. speciosa	Vietle's Little Suzi Black-Eyed Susan
Materials				
-	2	C.Y.	-	Soil Amendments
-	6	C.Y.	-	Shredded Hardwood Mulch
Amenities				
-	2	EACH	-	Seating Bench

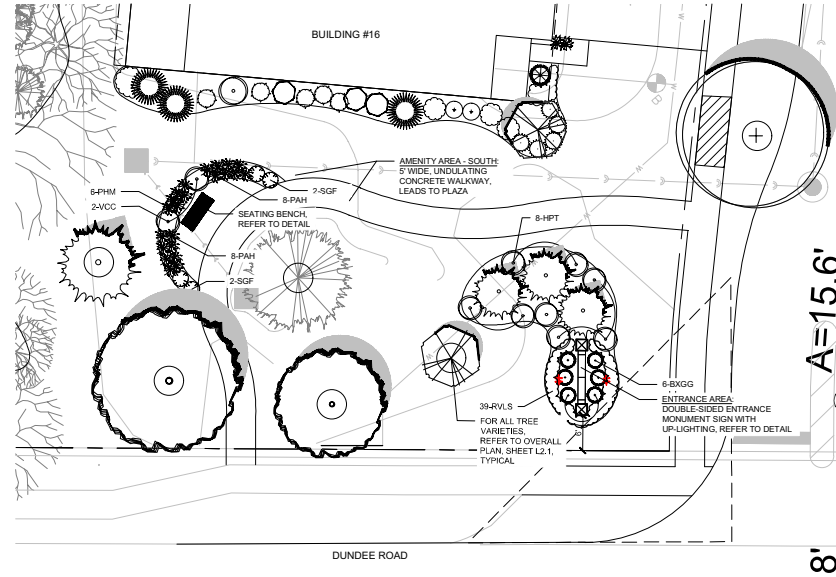
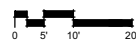
AMENITY AREA NORTH PLANT LIST

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
Evergreen Shrubs				
BXGG	8	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
Deciduous Shrubs				
SGF	14	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spiraea
VCC	6	7 Gal./36"	Viburnum carlesii 'Compactum'	Dwarf Koreanspice Viburnum
Ornamental Grasses				
PAH	20	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
Materials				
-	1.5	C.Y.	-	Soil Amendments
-	4	C.Y.	-	Shredded Hardwood Mulch
Amenities				
-	2	EACH	-	Seating Bench



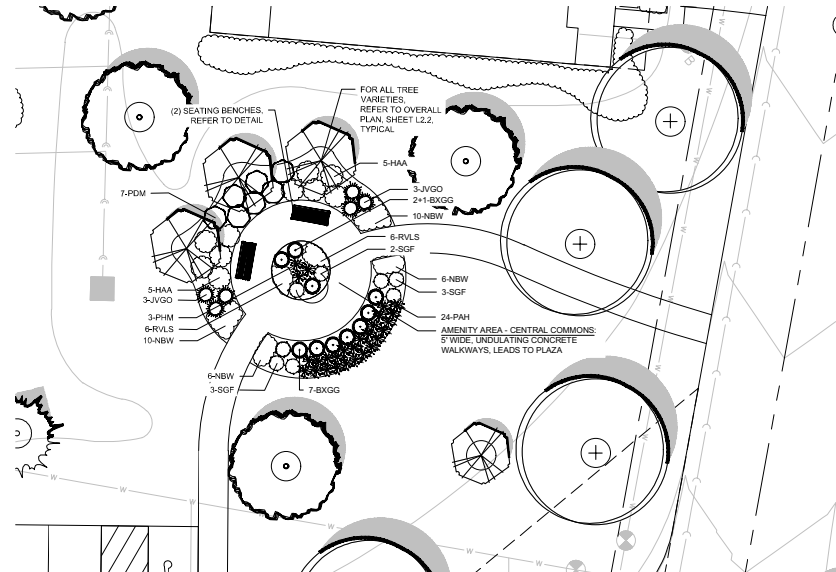
LANDSCAPE PLAN DETAIL: AMENITY AREA, NORTH

SCALE: 1" = 10'-0"



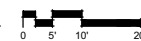
LANDSCAPE PLAN DETAIL: AMENITY AREA, SOUTH & ENTRANCE AREA

SCALE: 1" = 10'-0"



LANDSCAPE PLAN DETAIL: AMENITY AREA, CENTRAL COMMONS

SCALE: 1" = 10'-0"



dickson design
STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- DETAILS: AMENITY AREAS

SHEET NUMBER

L2.3

PLANT & MATERIALS LIST: FOUNDATIONS

2-UNIT BUILDING, ORIENTATION A

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 2 UNIT BUILDING, ORIENTATION "A" (SOUTH FACING FAÇADE)				
Evergreen Trees				
JCF	3	8' High	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper
TOT	2	8' High	Thuja occidentalis 'Tectony'	Mission Arborvitae
Ornamental Trees				
MS	1	6' High	Malus sargenti	Sargent Flowering Crabapple
Evergreen Shrubs				
BXGG	6	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
JCK	3	3 Gal./24"	Juniperus chinensis 'Killey'	Killey Compact Chinese Juniper
PPGG	1	30" wide	Prunus yupans 'Glaucous Globe'	Glaucous Globe Blue Spruce
TMD	1	24" wide	Taxus x media 'Densiformis'	Dense Yew
Deciduous Shrubs				
AMM	1	36" High	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry
BBC	5	5 Gal./24"	Buddleja 'Blue Chip'	Buddleja 'Blue Chip'
CAC	4	5 Gal./24"	Cotoneaster spicatus	Cranberry Cotoneaster
HLR	3	7 Gal./36"	Hydrangea paniculata 'Lava'	Little Lime Hydrangea
HOA	1	7 Gal./36"	Hydrangea quercifolia 'Alca'	Alca Oakleaf Hydrangea
HLRQF	5	7 Gal./36"	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea
PGD	5	5 Gal./24"	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla
POM	3	36"	Physocarpus opulifolius 'Dorcas May'	Little Devil Common Ninesbark
RYM	1	36" High	Rhododendron 'P.J.M.'	Rhododendron 'P.J.M.'
SGF	5	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spiraea
WWR	1	5 Gal./24"	Wegelia florida 'Wine & Roses'	Wine & Roses Weigela
Ornamental Grasses				
MSA	2	3 Gal.	Miscanthus sinensis 'Adagio'	Adagio Dwarf Maiden Grass
SH	1	1 Gal.	Sporobolus heterolepis	Prairie Dropseed
Perennials				
CNSN	6	1 Gal.	Calamintha Nepeta s. repens	Calaminth
HFA	9	1 Gal.	Hosta fortunei 'Aureomarginata'	Aureomarginata Hosta
NBW	6	1 Gal.	Nepeta faassenii 'Blue Wonder'	Blue Wonder Catmint
NKK	4	1 Gal.	Nepeta faassenii 'Kil Cat'	Kil Cat Catmint
NML	12	1 Gal.	Nepeta faassenii 'Walker's Low'	Walker's Low Catmint
RLS	9	1 Gal.	Rubuscula 'Nights' var. speciosa	Nights Little Spicy Black-Eyed Susan
Materials				
-	2	C.Y.	-	Soil Amendments
-	7	C.Y.	-	Shredded Hardwood Mulch

3-UNIT BUILDING, ORIENTATION A

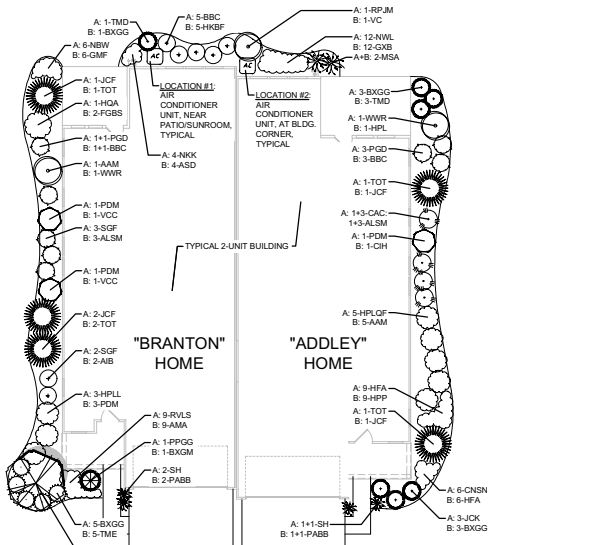
CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 3 UNIT BLDG, ORIENTATION A (WEST & SOUTH FACING FAÇADE)				
Evergreen Trees				
JCF	2	8' High	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper
TOT	3	8' High	Thuja occidentalis 'Tectony'	Mission Arborvitae
Ornamental Trees				
HV	1	6' High	Hamelia vernalis	Vernal Hothazel
Evergreen Shrubs				
BXGG	8	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
JVGG	5	24" wide	Juniperus virginiana 'Grey Owl'	Grey Owl Red Cedar
PMED	1	30" wide	Pinus mugo var. 'Ellis'	Ellis Dwarf Mugo Pine
TMD	3	24" wide	Taxus x media 'Densiformis'	Dense Yew
Deciduous Shrubs				
AB	4	5 Gal./24"	Aronia melanocarpa 'Iniquis Beauty'	Iniquis Beauty Black Chokeberry
CF	1	54" High	Calycanthus floridus	Sweet Shrub
CSF	1	36" High	Cornus sericea 'Flairwaver'	Yellowing Dogwood
CSL	1	36" High	Cornus sericea 'Island Redwing'	Island Redwing Dogwood
HAA	8	7 Gal./36"	Hydrangea aborescens 'Annabelle'	Annabelle Hydrangea
HGP	5	5 Gal./24"	Hypericum kalmianum 'Blue Festival'	Blue Festival St. John's Wort
PGD	5	5 Gal./24"	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla
POM	3	36" High	Physocarpus opulifolius 'Dorcas May'	Little Devil Common Ninesbark
SAW	2	5 Gal./24"	Spiraea bumalda 'Anthony Materer'	Anthony Materer Spiraea
SGF	5	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spiraea
SMP	1	42"	Syringa meyeri 'Palati'	Dwarf Meyer Lilac
VCC	1	7 Gal./36"	Viburnum celtica 'Compactum'	Dwarf Kousa Viburnum
Ornamental Grasses				
PMH	6	1 Gal.	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass
PMH	4	3 Gal.	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass
Perennials				
AB	8	1 Gal.	Aster multiflorus 'Blue Star'	Blue Star Blue Star
PAIS	18	1 Gal.	Panacea virginiana 'Little Spire'	Little Spire Russian Sage
NBW	12	1 Gal.	Nepeta faassenii 'Blue Wonder'	Blue Wonder Catmint
RLS	4	1 Gal.	Rubuscula 'Nights' var. speciosa	Nights Little Spicy Black-Eyed Susan
SH	12	1 Gal.	Salix 'Blue Hill'	Blue Hill Salix
Materials				
-	3	C.Y.	-	Soil Amendments
-	9	C.Y.	-	Shredded Hardwood Mulch

2-UNIT BUILDING, ORIENTATION B

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 2 UNIT BUILDING, ORIENTATION "B" (EAST FACING FAÇADE)				
Evergreen Trees				
JCF	2	8' High	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper
TOT	3	8' High	Thuja occidentalis 'Tectony'	Mission Arborvitae
Ornamental Trees				
MC	1	6' High	Malus x 'Cameo'	Cameo Crab
Evergreen Shrubs				
BXGG	3	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
BXGM	1	42" wide	Buxus x 'Green Mountain'	Green Mountain Boxwood
TMD	3	24" wide	Taxus x media 'Densiformis'	Dense Yew
TME	5	24" wide	Taxus x media 'Everlow'	Everlow Yew
Deciduous Shrubs				
AMM	5	36" High	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry
AB	2	5 Gal./24"	Aronia melanocarpa 'Iniquis Beauty'	Iniquis Beauty Black Chokeberry
ALSM	7	5 Gal./24"	Aronia melanocarpa 'Low Scope Mound'	Low Scope Mound Black Chokeberry
BBC	5	5 Gal./24"	Buddleja 'Blue Chip'	Buddleja 'Blue Chip'
CH	1	36"	Cornus alba 'Ivory Halo'	Ivory Halo Tartarian Dogwood
FGBS	1	36" High	Fothergilla gardenii 'Blue Shadow'	Blue Shadow Dwarf Fothergilla
HGP	5	5 Gal./24"	Hypericum kalmianum 'Blue Festival'	Blue Festival St. John's Wort
HLR	1	42"	Hydrangea paniculata 'Limelight'	Limelight Panicle Hydrangea
PCB	3	36"	Physocarpus opulifolius 'Dorcas May'	Little Devil Common Ninesbark
VC	1	36" High	Viburnum celtica	Kousa Viburnum
VCC	2	7 Gal./36"	Viburnum celtica 'Compactum'	Dwarf Kousa Viburnum
WWR	1	5 Gal./24"	Wegelia florida 'Wine & Roses'	Wine & Roses Weigela
Ornamental Grasses				
MSA	2	3 Gal.	Miscanthus sinensis 'Adagio'	Adagio Dwarf Maiden Grass
ONAB	6	1 Gal.	Onoclea sensibilis 'Burgundy Burrey'	Dwarf Burgundy Foxtail Grass
Perennials				
AMA	9	1 Gal.	Aster multiflorus 'Audrey'	Audrey Lady's Mantle
ASD	4	1 Gal.	Aster multiflorus 'Audrey'	Audrey Lady's Mantle
GAB	12	1 Gal.	Geranium x 'Brookside'	Brookside Geranium
GMP	6	1 Gal.	Geranium sanguineum 'Max Frei'	Max Frei Geranium
HFA	6	1 Gal.	Hosta fortunei 'Aureomarginata'	Aureomarginata Hosta
HPP	9	1 Gal.	Heuchera micrantha 'Palace Purple'	Palace Purple Coralbells
Materials				
-	2	C.Y.	-	Soil Amendments
-	7	C.Y.	-	Shredded Hardwood Mulch

3-UNIT BUILDING, ORIENTATION B

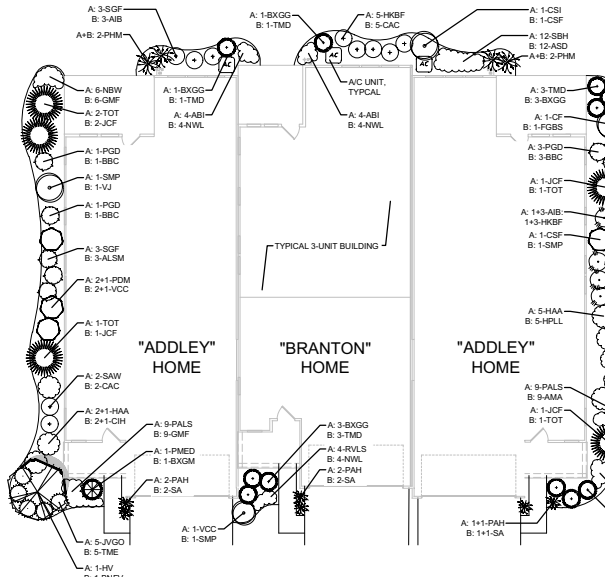
CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 3 UNIT BLDG, ORIENTATION B (NORTH & EAST FACING FAÇADE)				
Evergreen Trees				
JCF	3	8' High	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper
TOT	2	8' High	Thuja occidentalis 'Tectony'	Mission Arborvitae
Ornamental Trees				
BNV	1	#25 cont.	Betula nigra 'Fox Valley'	Fox Valley Dwarf River Birch
Evergreen Shrubs				
BXGG	3	24" wide	Buxus x 'Green Gert'	Green Gert Boxwood
BXGM	1	42" wide	Buxus x 'Green Mountain'	Green Mountain Boxwood
TMD	3	24" wide	Taxus x media 'Densiformis'	Dense Yew
TME	5	24" wide	Taxus x media 'Everlow'	Everlow Yew
Deciduous Shrubs				
AB	3	5 Gal./24"	Aronia melanocarpa 'Iniquis Beauty'	Iniquis Beauty Black Chokeberry
ALSM	7	5 Gal./24"	Aronia melanocarpa 'Low Scope Mound'	Low Scope Mound Black Chokeberry
BBC	5	5 Gal./24"	Buddleja 'Blue Chip'	Buddleja 'Blue Chip'
CAC	7	5 Gal./24"	Cotoneaster spicatus	Cranberry Cotoneaster
CH	3	36"	Cornus alba 'Ivory Halo'	Ivory Halo Tartarian Dogwood
CSF	1	36" High	Cornus sericea 'Flairwaver'	Yellowing Dogwood
FGBS	1	36" High	Fothergilla gardenii 'Blue Shadow'	Blue Shadow Dwarf Fothergilla
HGP	4	5 Gal./24"	Hypericum kalmianum 'Blue Festival'	Blue Festival St. John's Wort
HLR	5	5 Gal./24"	Hydrangea paniculata 'Lava'	Little Lime Hydrangea
SMP	2	42"	Syringa meyeri 'Palati'	Dwarf Meyer Lilac
VCC	3	7 Gal./36"	Viburnum celtica 'Compactum'	Dwarf Kousa Viburnum
VJ	1	36" High	Viburnum x juddii	Judd Viburnum
Ornamental Grasses				
PMH	4	3 Gal.	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass
SH	6	1 Gal.	Sporobolus heterolepis	Prairie Dropseed
Perennials				
AMA	9	1 Gal.	Aster multiflorus 'Audrey'	Audrey Lady's Mantle
ASD	12	1 Gal.	Aster multiflorus 'Audrey'	Audrey Lady's Mantle
GMP	15	1 Gal.	Geranium sanguineum 'Max Frei'	Max Frei Geranium
NML	18	1 Gal.	Nepeta faassenii 'Walker's Low'	Walker's Low Catmint
Materials				
-	3	C.Y.	-	Soil Amendments
-	9	C.Y.	-	Shredded Hardwood Mulch



LANDSCAPE PLAN DETAIL: TYPICAL 2-UNIT FOUNDATION

SCALE: 1" = 10'-0"

NOTE: FOUNDATION PLANTINGS MAY BE ADJUSTED BASED ON FINAL UNIT MIXES AND UTILITY LOCATIONS



LANDSCAPE PLAN DETAIL: TYPICAL 3-UNIT FOUNDATION

SCALE: 1" = 10'-0"

NOTE: FOUNDATION PLANTINGS MAY BE ADJUSTED BASED ON FINAL UNIT MIXES AND UTILITY LOCATIONS



dickson design
STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- DETAILS: 2 & 3 UNIT
TYPICAL FOUNDATIONS

SHEET NUMBER

L2.4

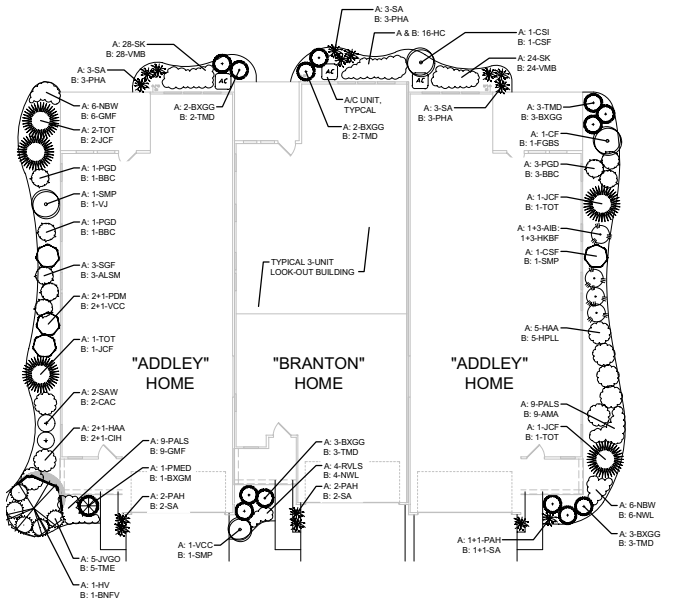
PLANT & MATERIALS LIST: FOUNDATIONS

3-UNIT LOOK-OUT BUILDING, ORIENTATION A

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 3 UNIT LO BLDG, ORIENTATION A (WEST & SOUTH FACING FAÇADE)				
Evergreen Trees				
JCF	2	8' high	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper
TOT	3	8' high	Thuja occidentalis 'Tectony'	Mission Arborvitae
Ornamental Trees				
HV	1	6' high	Hamelis vernalis	Vernal Witchhazel
Evergreen Shrubs				
BXGG	10	24" wide	Buxus x 'Green Gent'	Green Gent Boxwood
JVGO	5	24" wide	Juniperus virginiana 'Grey Owl'	Grey Owl Red Cedar
PMED	1	30" wide	Pinus mugo var. 'Ezra'	Ever Dwarf Mugo Pine
TMD	3	24" wide	Taxus x media 'Densiformis'	Dense Yew
Deciduous Shrubs				
AB	4	5 Gal./24"	Aronia melanocarpa 'Froquois Beauty'	Inspired Beauty Black Chokeberry
CF	1	54" high	Calycanthus floridus	Sweet Shrub
CSF	1	36" high	Cornus sericea 'Flairtime'	Yellowtwig Dogwood
CSL	1	36" high	Cornus sericea 'Ivory Ribbon'	Ivory Ribbon Dogwood
HAA	8	7 Gal./30"	Hydrangea aborescens 'Annabelle'	Annabelle Hydrangea
PGD	5	5 Gal./24"	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla
PMH	3	30" high	Physocarpus opulifolius 'Diana May'	Little Devil Common Honeysuckle
SAW	2	5 Gal./24"	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spirea
SGP	3	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spirea
SMP	1	42"	Syringa meyeri 'Palibin'	Dwarf Korean Lilac
VCC	1	7 Gal./30"	Viburnum cerasifolium 'Compactum'	Dwarf Koreanopse Viburnum
Ornamental Grasses				
PAH	6	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
SA	9	1 Gal.	Sesleria autumnalis	Autumn Moor Grass
Perennials/Groundcovers				
HC	16	1 Gal.	Heuchera 'Caramel'	Caramel Coral Bells
PNLS	18	1 Gal.	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage
NBW	12	1 Gal.	Nepeta faasseni 'Blue Wonder'	Blue Wonder Catmint
RVL	4	1 Gal.	Rubus coccineus 'Black-Eyed Susan'	Black-Eyed Susan
SK	52	3" pots	Sedum kametsumicum	Stone Crop Sedum
Materials				
-	3	C.Y.	-	Soil Amendments
-	9	C.Y.	-	Shredded Hardwood Mulch

3-UNIT LOOK-OUT BUILDING, ORIENTATION B

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 3 UNIT LO BLDG, ORIENTATION B (NORTH & EAST FACING FAÇADE)				
Evergreen Trees				
JCF	3	8' high	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper
TOT	2	8' high	Thuja occidentalis 'Tectony'	Mission Arborvitae
Ornamental Trees				
BNV	#25 cont.		Betula nigra 'Fox Valley'	Fox Valley Dwarf River Birch
Evergreen Shrubs				
BXGG	3	24" wide	Buxus x 'Green Gent'	Green Gent Boxwood
BXGM	1	42" wide	Buxus x 'Green Mountain'	Green Mountain Boxwood
TMD	10	24" wide	Taxus x media 'Densiformis'	Dense Yew
TME	5	24" wide	Taxus x media 'Everlow'	Everlow Yew
Deciduous Shrubs				
ALSM	3	5 Gal./24"	Aronia melanocarpa 'Low Scope Mound'	Low Scope Mound Black Chokeberry
BBC	5	5 Gal./24"	Buddleja 'Blue Chip'	Lo & Behold Buddleja
CAC	2	5 Gal./24"	Cotoneaster apiculatus	Cranberry Cotoneaster
CH	3	36" high	Cornus alba 'Ivory Halo'	Ivory Halo Tatarian Dogwood
CSF	1	36" high	Cornus sericea 'Flairtime'	Yellowtwig Dogwood
FGBS	1	36" high	Fothergilla gardenii 'Blue Shadow'	Blue Shadow Dwarf Fothergilla
HBBF	4	5 Gal./24"	Hypericum kalmianum 'Blue Festival'	Blue Festival St. John's Wort
HPL	5	7 Gal./30"	Hydrangea paniculata 'Lime'	Little Lime Hydrangea
SMP	2	42" high	Syringa meyeri 'Palibin'	Dwarf Korean Lilac
VCC	3	7 Gal./30"	Viburnum cerasifolium 'Compactum'	Dwarf Koreanopse Viburnum
VJ	1	36" high	Viburnum x juddii	Judd Viburnum
Ornamental Grasses				
PAH	9	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
SA	6	1 Gal.	Sesleria autumnalis	Autumn Moor Grass
Perennials/Groundcovers				
AUSA	9	1 Gal.	Alchemilla mollis 'Austalee'	Austalee Lady's Mantle
GW	15	1 Gal.	Geranium sanguineum 'Max Frei'	Max Frei Cranebill
HC	16	1 Gal.	Heuchera 'Caramel'	Caramel Coral Bells
NHL	10	1 Gal.	Nepeta faasseni 'Walker's Low'	Walker's Low Catmint
VNB	52	3" pots	Vincetoxicum 'Bowles'	Bowles Periwinkle
Materials				
-	3	C.Y.	-	Soil Amendments
-	9	C.Y.	-	Shredded Hardwood Mulch



LANDSCAPE PLAN DETAIL: TYPICAL 3-UNIT LOOK-OUT FOUNDATION

SCALE: 1" = 10'-0"
NOTE: FOUNDATION PLANTINGS MAY BE ADJUSTED BASED ON FINAL UNIT MIXES AND UTILITY LOCATIONS



CLIENT NAME AND ADDRESS
VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

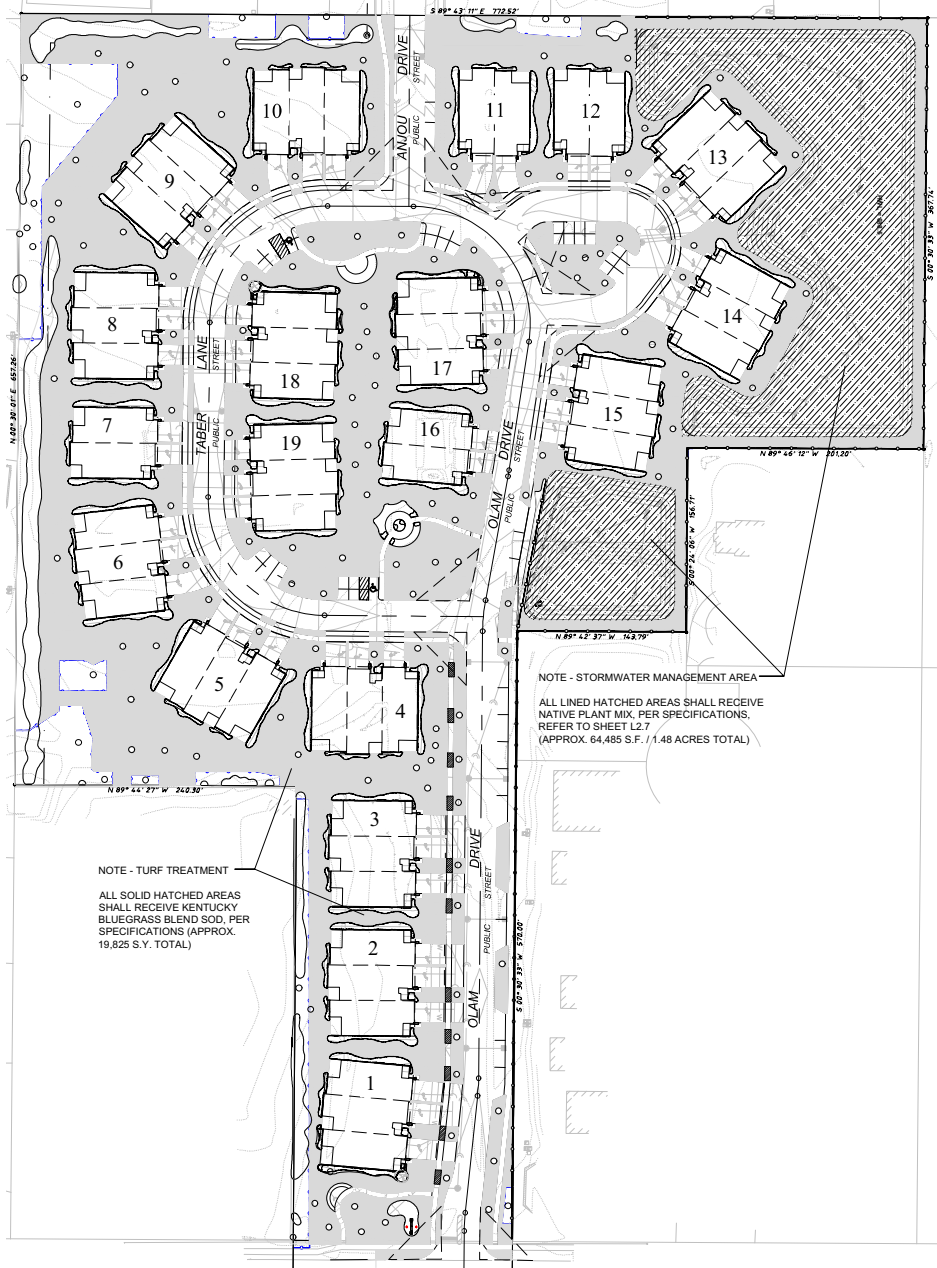
PLAN DATE
APRIL 18, 2025

REVISIONS	
1.	5/21/25 PER STAFF COMMENTS
2.	
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PROJECT NAME AND SHEET TITLE
THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

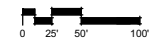
FINAL LANDSCAPE PLAN
- DETAILS: LOOK-OUT UNITS
TYPICAL FOUNDATIONS

SHEET NUMBER
12.5



LAYOUT PLAN: TURF & STORMWATER AREAS

SCALE: 1" = 50'-0"



CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
2.	
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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- TURF & STORMWATER AREAS

SHEET NUMBER

L2.6

SPECIFICATIONS & DETAILS: SITE FEATURES



1 SPECIFICATION: SEATING BENCH

NOT TO SCALE

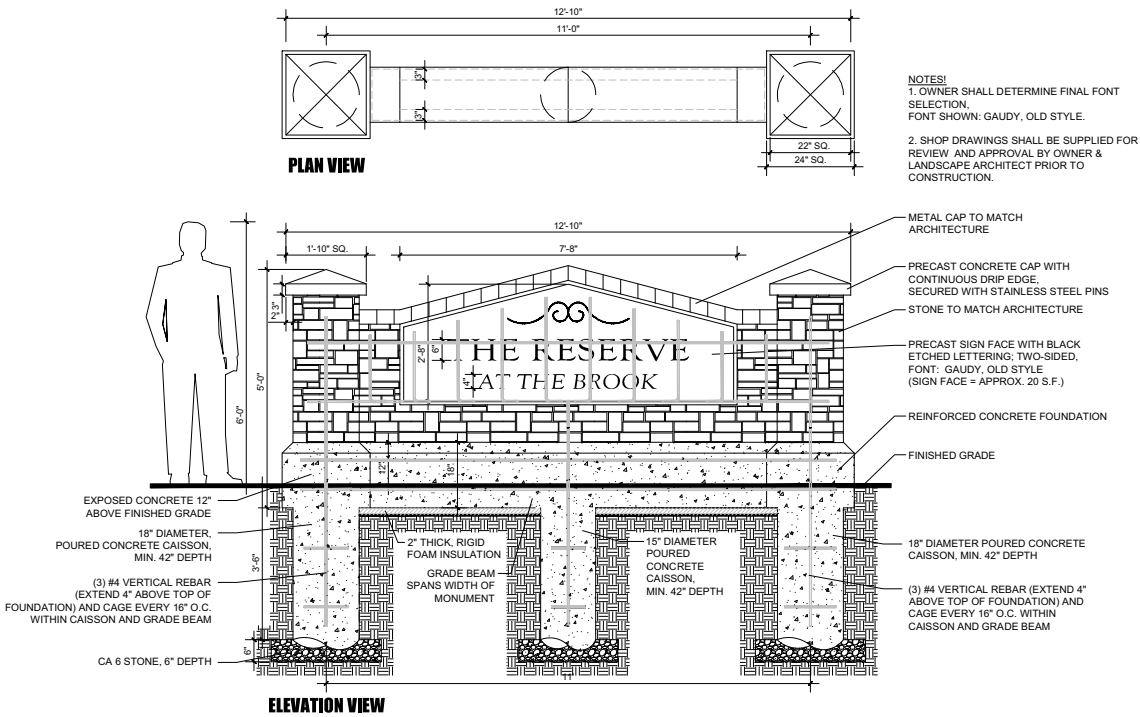
SHALL BE:

- QUANTITY: 5
- NAME: DUMOR
- MODEL: 140, 6' (SURFACE-MOUNT)
- MATERIAL: POWDER-COATED STEEL
- COLOR: BLACK

- INSTALL: PER MANUFACTURER'S SPECIFICATIONS

- AVAILABLE THRU (OR APPROVED EQUAL):
NUTOYS LEISURE PRODUCTS

LA GRANGE, IL
CONTACT:
RICK BIETERMAN @ TEL (708) 579-9055



2 DETAIL: ENTRANCE MONUMENT SIGN

SCALE: 3/4" = 1'-0"



dickson design
STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

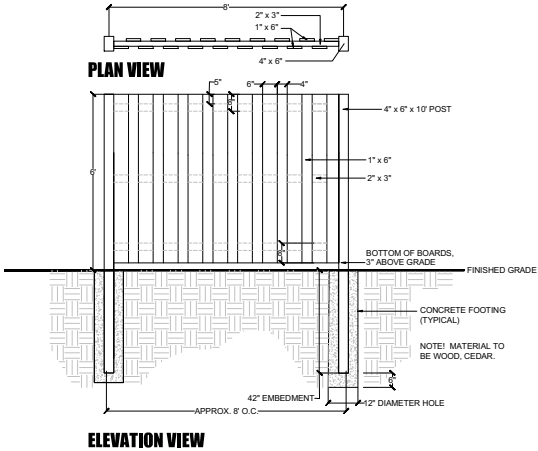
THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- SPECIFICATIONS & DETAILS
(SITE FEATURES)

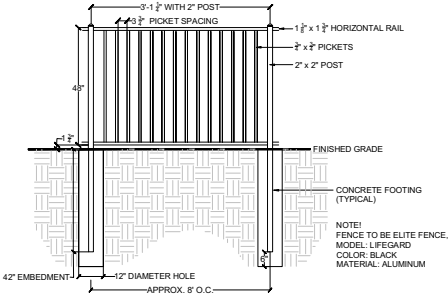
SHEET NUMBER

L3.1

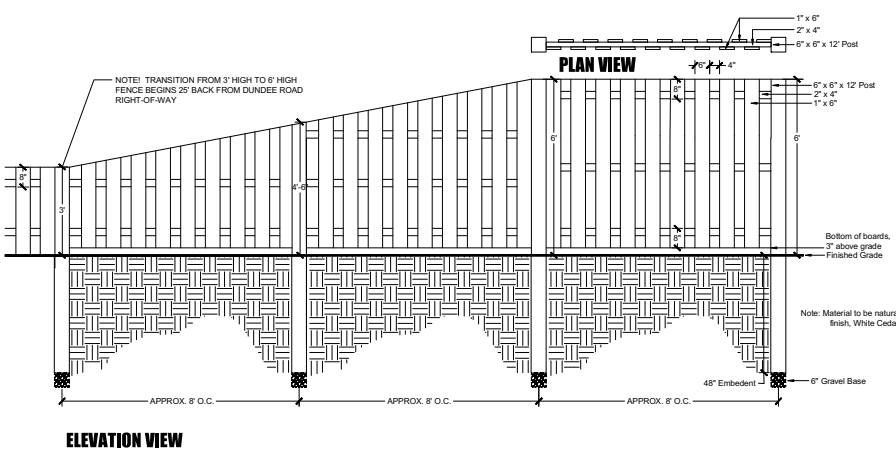
SPECIFICATIONS & DETAILS: FENCING



1 DETAIL: PRIVACY FENCE
SCALE: 1/2" = 1'-0"
LOCATION: PRIVACY FENCE ALONG NORTHEAST & EAST BORDERS
NOTE: PRIVACY FENCE LOCATION INDICATED ON SHEETS L2.1 AND L2.2. WHERE EXISTING TREES TO BE PRESERVED FALL WITHIN THE LOCATION OF THE PROPOSED FENCE, THE FENCE SHALL BE FIELD LOCATED TO JOG AROUND THE TREE TRUNK. IF NO AREA IS AVAILABLE ON-SITE, A GAP IN THE FENCE IS ACCEPTABLE. NO POSTS SHALL BE DUG WITHIN 3 FEET OF ANY EXISTING TREE TRUNK.



3 DETAIL: SAFETY FENCE
SCALE: 1/2" = 1'-0"
LOCATION: SAFETY FENCE LOCATED WEST OF CENTRAL DETENTION BASIN



2 DETAIL: PRIVACY FENCE TRANSITION
SCALE: 1/2" = 1'-0"
LOCATION: PRIVACY FENCE AT SOUTHEAST PROPERTY CORNER (3' HIGH FENCE TRANSITIONS TO A 6' HIGH FENCE)


dickson design
STUDIO
9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS
VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE
APRIL 18, 2025

REVISIONS	
1.	5/21/25 PER STAFF COMMENTS
2.	
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PROJECT NAME AND SHEET TITLE
THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- SPECIFICATIONS & DETAILS
(FENCING)

SHEET NUMBER
L3.2



ADDLEY / BRANTON TOWNHOME - FARMHOUSE STYLE



LEFT ELEVATION - FARMHOUSE STYLE - (BASE)



RIGHT ELEVATION - FARMHOUSE STYLE - (BASE)



REAR ELEVATION - FARMHOUSE STYLE - (BASE)



ADDLEY / BRANTON TOWNHOME - FARMHOUSE STYLE



LEFT ELEVATION - FARMHOUSE STYLE - (BASE)



RIGHT ELEVATION - FARMHOUSE STYLE - (BASE)



REAR ELEVATION - FARMHOUSE STYLE - (BASE)



ADDLEY / BRANTON TOWNHOME - FARMHOUSE STYLE



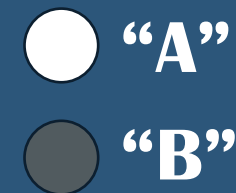
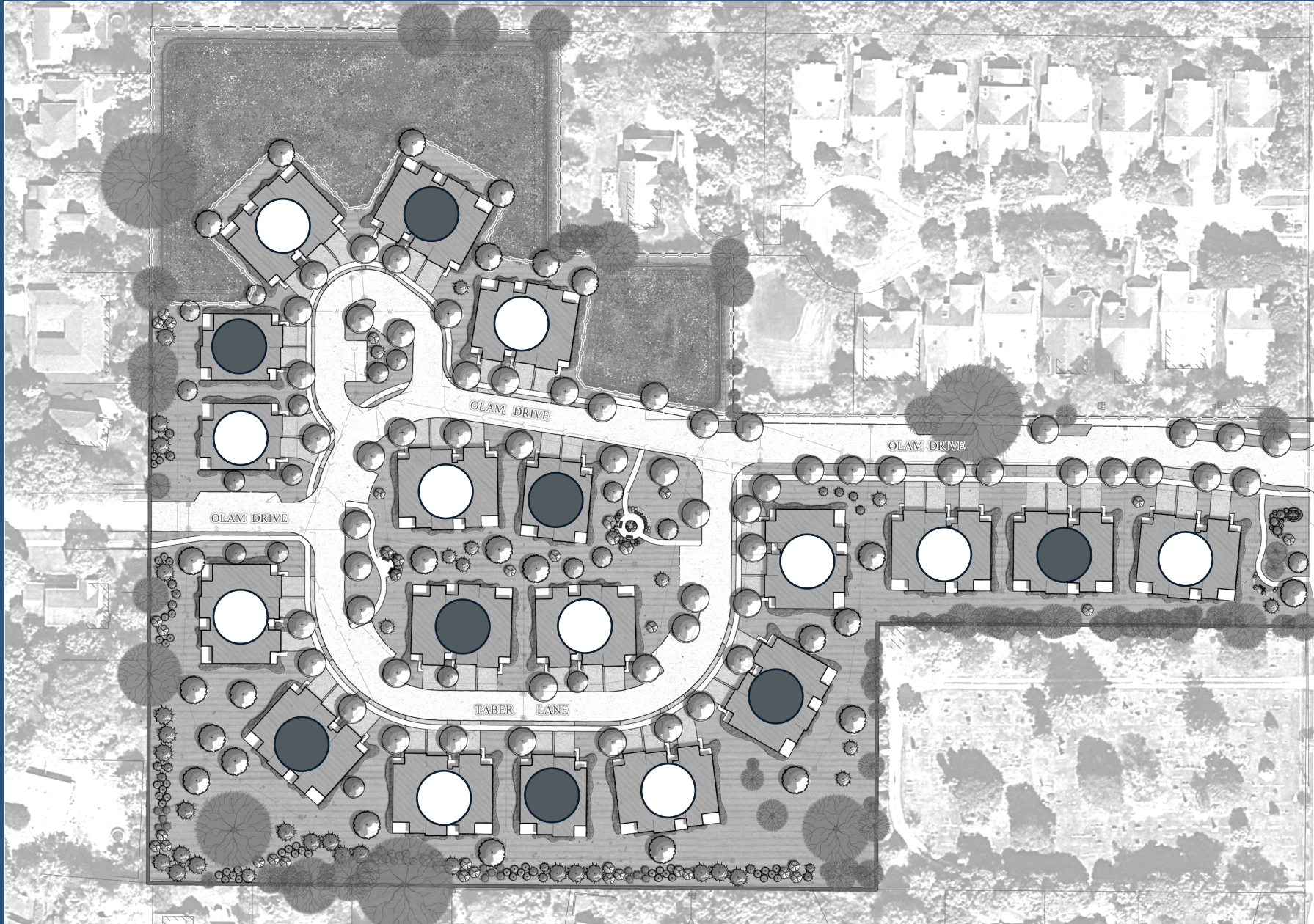
LEFT ELEVATION - FARMHOUSE STYLE - (BASE)



RIGHT ELEVATION - FARMHOUSE STYLE - (BASE)



REAR ELEVATION - FARMHOUSE STYLE - (BASE)





Exterior Color Collections

Illinois Division

April 1, 2024
Hardie Siding - White Trim
Matching

HW-111-W-M

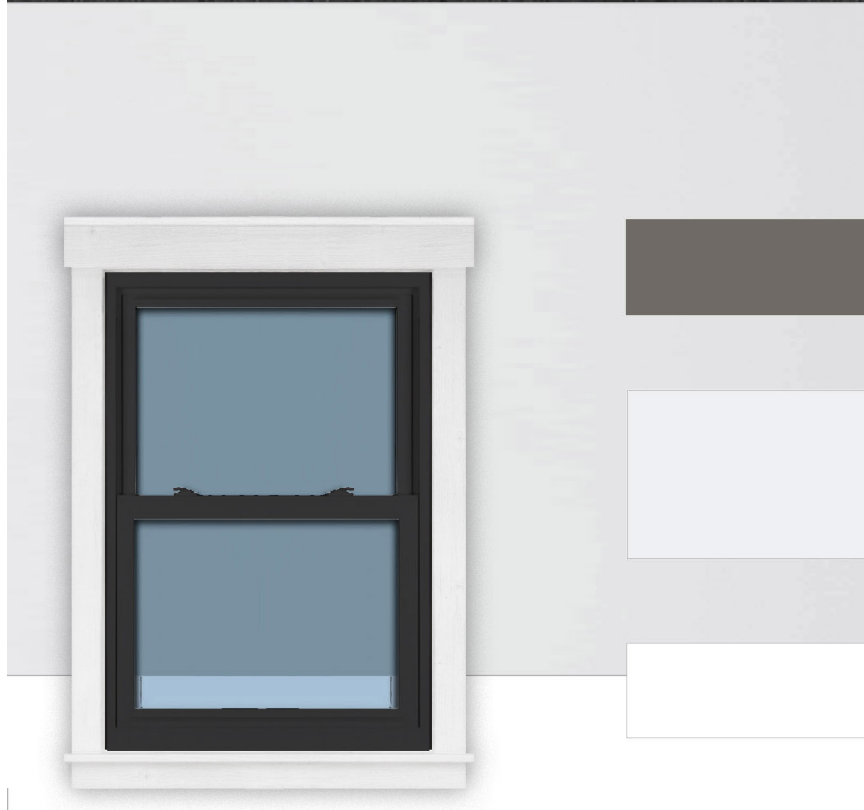
Shingle Roofing
CertainTeed
Architectural
Moire Black



Metal Roof
Mastic Metals
Terra Bronze



Horizontal /
Board & Batten /
Shake Siding
Arctic White



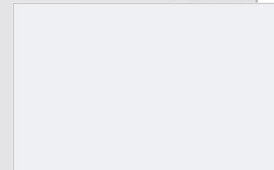
Windows
Black

Trim
Arctic White

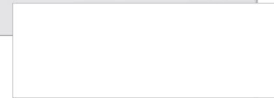
Entry Door
Folkstone
SW 6005



Garage Doors
CloPay
White



Gutters & Fascia
Arctic White



Manufactured Stone
Coronado Stone
Country Rubble



Color selections created by:
Main Street Designs of Georgia, LLC
www.MainStreetDesignsLLC.com

Please Note: Colors are reproduced using printing inks, not actual paint. Always select colors from the manufacturer's color card for best representation of actual color. Colors may vary slightly in actual use due to area, sheen, surface, applications or lighting.



Exterior Color Collections

Illinois Division

April 1, 2024
Hardie Siding - White Trim
Matching

HW-108-W-M

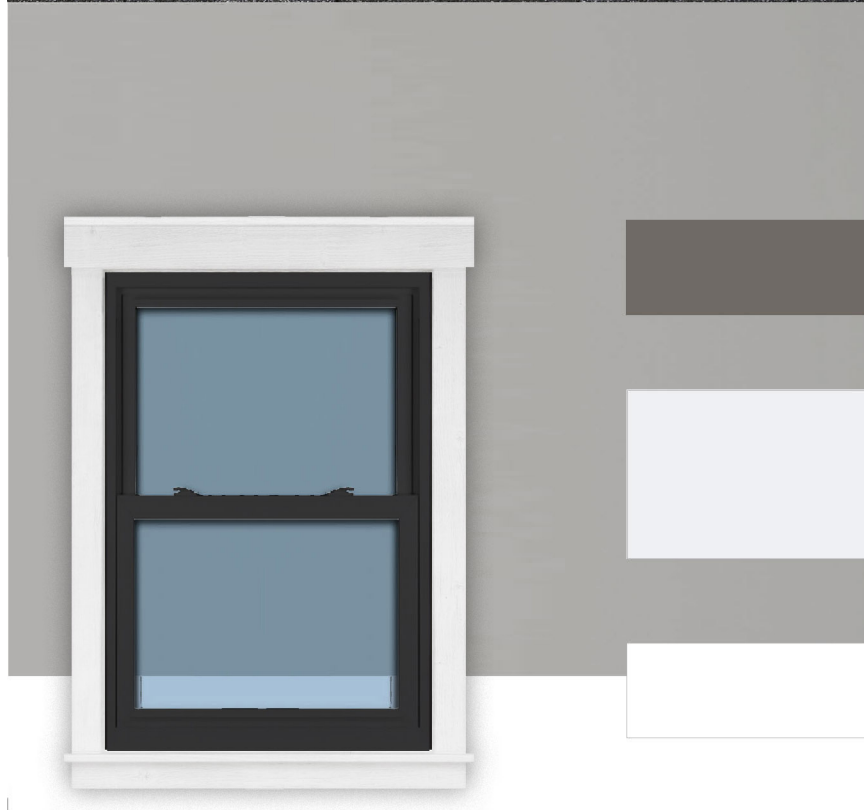
Shingle Roofing
CertainTeed
Architectural
Pewter



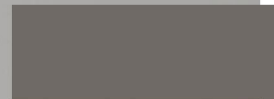
Metal Roof
Mastic Metals
Terra Bronze



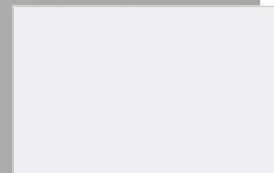
Horizontal /
Board & Batten /
Shake Siding
Pearl Gray



Entry Door
Folkstone
SW 6005



Garage Doors
CloPay
White



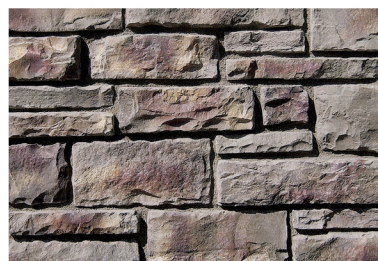
Windows
Black

Trim
Arctic White

Gutters & Fascia
Arctic White



Manufactured Stone
Coronado Stone
Country Rubble



Color selections created by:
Main Street Designs of Georgia, LLC
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Exterior Color Collections

Illinois Division

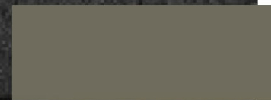
April 1, 2024
Hardie Siding - White Trim
Matching

HW-126-W-M (Premium)

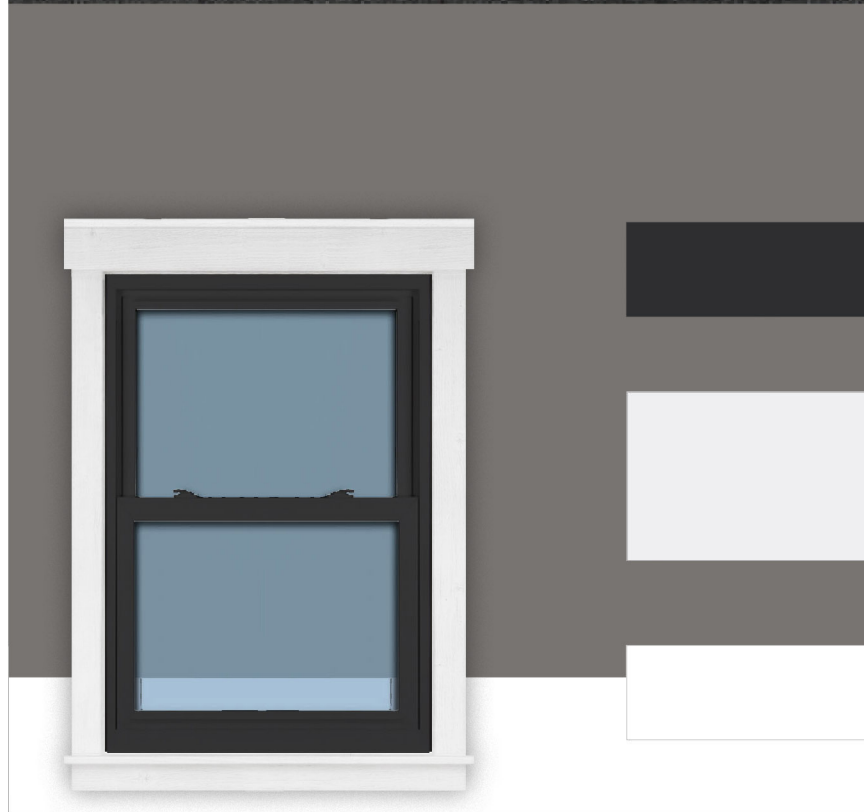
Shingle Roofing
CertainTeed
Architectural
Moire Black



Metal Roof
Mastic Metals
Terra Bronze



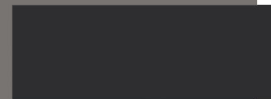
Horizontal /
Board & Batten /
Shake Siding
Aged Pewter



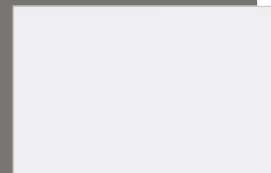
Windows
Black

Trim
Arctic White

Entry Door
Tricorn Black
SW 6258



Garage Doors
CloPay
White



Gutters & Fascia
Arctic White



Manufactured Stone
Coronado Stone
Country Rubble



Color selections created by:
Main Street Designs of Georgia, LLC
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Exterior Color Collections

Illinois Division

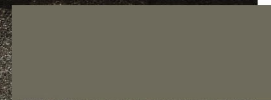
April 1, 2024
Hardie Siding - White Trim
Matching

HW-144-W-M (Premium)

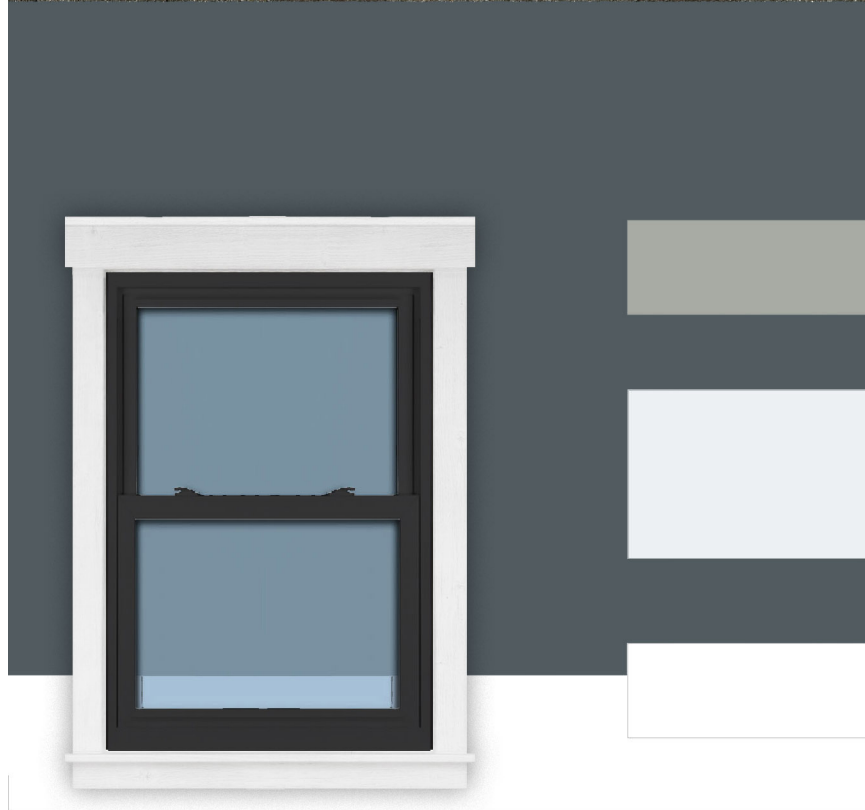
Shingle Roofing
CertainTeed
Architectural
Weathered Wood



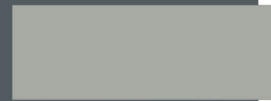
Metal Roof
Mastic Metals
Terra Bronze



Horizontal /
Board & Batten /
Shake Siding
Evening Blue



Entry Door
Gray Matters
SW 7066



Garage Doors
CloPay
White



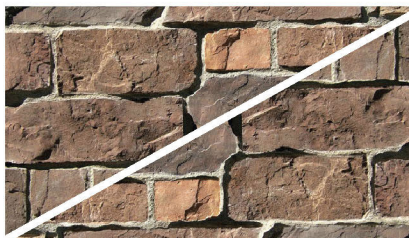
Windows
Black

Trim
Arctic White

Gutters & Fascia
Arctic White



Manufactured Stone
Coronado Stone
Tuscan Villa



Color selections created by:
Main Street Designs of Georgia, LLC
www.MainStreetDesignsLLC.com

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Supplement(s)

APPROVED
RESOLUTION NO. 25-PC-10
VILLAGE OF NORTHBROOK PLAN COMMISSION

DOCKET NO. PCD-25-06
(3700 DUNDEE ROAD – THE RESERVE AT THE BROOK)

WHEREAS, an application has been filed by Venture 1 OLB, LLC (the “Applicant”) as contract purchaser of the property commonly known as 3700 Dundee Road (the “Subject Property”), and which is owned by The Catholic Bishop of Chicago, a corporation sole (the “Owner”), and

WHEREAS, the Applicant desires to develop the Subject Property as a 53-unit townhome planned development (“*Planned Development*”); and

WHEREAS, 3700 Dundee Road is designated as appropriate for Multi-Family up to 6 DUA uses in the Village of Northbrook Comprehensive Plan; and

WHEREAS, the Multi Family Residential Up To 6 Dwelling Units Per Acre (MF-6) land use designation is “...intended to provide areas for two-family dwelling units and townhomes at a density no greater than 6 units per acre. The MF-6 classification is intended to preserve the character of these lower density two-family dwelling unit and townhome areas and to allow the continued development of these areas”; and

WHEREAS, the Applicant previously submitted Docket No. PCD-24-13 which was reviewed by the Plan Commission and which the Commission adopted Plan Commission Resolution No. 25-PC-03 recommending approval of a zoning map amendment for the Subject Property (changing the zoning from IB to R-6), as well as special permit, subdivision variations, and concept plan/tentative plat approval of a proposed **53-unit townhome development**; and

WHEREAS, on April 8, 2025, the Board of Trustees approved Docket No. PCD-24-13, including a development concept plan for the Planned Development on the Subject Property, through the adoption of the following ordinances and resolution:

- 1) Ordinance No. 2025-24: An Ordinance Amending the Comprehensive Plan of the Village of Northbrook;
- 2) Ordinance No. 2025-25: An Ordinance Rezoning the property at 3700 Dundee Road and Amending the District Zoning Map;
- 3) Ordinance No. 2025-26: An Ordinance Granting a Special Permit for a Residential Planned Development;
- 4) Resolution No. 2025-R-45: A Resolution Approving a Development Concept Plan, a Tentative Plat of Subdivision, and Providing Conceptual Development Approvals

WHEREAS, the Applicant has applied for Final Development Plan and Final Plat of Subdivision approval for the Development in a manner consistent with a previously approved concept plan for the Subject Property; and

Resolution No. 25-PC-10
Docket No. PCD-25-06 – 3700 Dundee Road

WHEREAS, at the June 17, 2025, Plan Commission meeting, the Commission reviewed the 53-unit townhome Planned Development Final Plan and Final Plat application and determined that it complies with the Village of Northbrook Zoning Code, Village of Northbrook Subdivision and Development Code, and the approved Planned Development Concept Plan, and

WHEREAS, the Plan Commission has considered all the evidence presented to it, including, but not limited to, all testimony and written materials from the Applicant and members of the general public concerning this matter, including:

1. Village of Northbrook Plan Commission Application form & attachments received April 22, 2025, and all subsequent additions and revisions to these application materials and attachments.
2. All staff reports and attachments regarding this application.
3. All written and oral testimony concerning the application.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Northbrook, Cook County, Illinois, THAT:

1. Findings:

- A. Final Plan Compliance with Concept Plan. With respect to Docket No. PCD-25-06, the Plan Commission finds that the proposed final plan for the Planned Development is in substantial conformity with the approved concept plan for the Planned Development per the standards established in Subparagraph 11-603 D4(f)(2) of the Zoning Code.
- B. Final Plat in Compliance with Tentative Plat. With respect to Docket No. PCD-25-06, the Plan Commission finds that the proposed final plat of subdivision is in substantial compliance with the approved tentative plat of subdivision and satisfies the criteria established in the Village of Northbrook Subdivision and Development Code for approval of a final plat in the R-6 Multiple Family Residential District.

2. Recommendations: The Northbrook Plan Commission does hereby recommend to the President and Board of Trustees of the Village of Northbrook **approval** of Docket No. PCD-25-06 based on the findings established herein, subject to the following conditions:

- A. Final Plan Approval. The Final Development Plan for the Subject Property, consisting of the following plans should be approved:
 - 1) Final Engineering Plans, prepared by Haeger Engineering, with most recent revision date of May 22, 2025.
 - 2) Final Landscape Plans, Dickson Design Studio, with most recent revision date of May 21, 2025;
 - 3) Building Elevation Plans, Pulte Group Design, with most recent revision date of February 10, 2025.
- B. Final Plat Approval. The Final Plat of Subdivision prepared by prepared by Haeger Engineering, with most recent revision date of May 22, 2025, should be approved.

3. Conditions: The relief recommended above should be conditioned upon the satisfaction of the following recommended conditions:

- A. Compliance with all Village Codes & Regulations. The proposed Development shall be required to meet all Village codes and regulations, including but not limited to the Zoning Code, the

Resolution No. 25-PC-10
Docket No. PCD-25-06 – 3700 Dundee Road

Village of Northbrook Subdivision and Development Code (1988), as amended, the Standards and Specifications for Public and Private Improvements Manual (2023), as amended, and all building, fire, and life-safety code requirements.

- B. Final Plan Approval. Prior to final plan approval of the Development by the Board of Trustees, the Director of Development and Planning Services and the Village Engineer must approve the documents in a form such that they are ready for Board of Trustees approval.
- C. Development Agreement. Prior to final plan approval of the Development by the Board of Trustees, the Village Attorney shall prepare a development agreement outlining the sequencing of the construction of necessary public and private improvements (including stormwater management measures), the obligation to pay all applicable school, park and library impact fees and the posting of all requisite performance guarantees for the development of the Subject Property as proposed. Such agreement shall be approved by the Board of Trustees and recorded prior to the commencement of construction on the Subject Property.
- D. Affordable Housing Covenant. Prior to final plan approval of the Development by the Board of Trustees, the Village Attorney shall prepare an Affordable Housing Covenant stating compliance with the requirements of Part III of Article IX of the Zoning Code, entitled “Affordable Housing in New Developments”, which is to be recorded with the Cook County Clerk’s Office.
- E. Declaration and Covenants. Building permits for the Subject Property shall not be granted until the declaration and covenants for the Subject Property have been approved by the Village Attorney and recorded with the Cook County Clerk’s Office.

ADOPTED THIS 17th day of June 2025.

AYES: (5) Braiman, DeBartolo, Karavitis, Morgen, Elisco

NAYS: (0)

ABSENT: (4) Halperin, Melnick, Sandler, Walden

ABSTAIN: (0)

/s/ Steven Elisco
Steven Elisco, Chairman
Northbrook Plan Commission

ATTEST:

/s/ Amy McEwan
Amy McEwan, Director
Development and Planning Services