

Ordinance 2025-43

An Ordinance Granting Final Plan Approval for a Residential Planned Development (The Reserve at the Brook – 3700 Dundee Road) (Plan Commission Docket No. PCD-25-06)

Passed by the Board of Trustees, 07/08/2025
Printed and Published 07/09/2025

Printed and Published in Pamphlet Form
by Authority of the
President and Board of Trustees
VILLAGE OF NORTHBROOK
COOK COUNTY, ILLINOIS

I hereby certify that this document
was properly published on the date
stated above.

/s/ Derek Gau

Village Clerk

Ordinance 2025-43

BE IT ORDAINED by the Board of Trustees of the Village of Northbrook, County of Cook and State of Illinois, THAT:

An Ordinance Granting Final Plan Approval for a Residential Planned Development (The Reserve at the Brook – 3700 Dundee Road) (Plan Commission Docket No. PCD-25-06)

shall be, and is hereby, adopted as follows:

SECTION 1. BACKGROUND

Venture 1 OLB LLC (“*Applicant*”) as contract purchaser of the property commonly known as 3700 Dundee Road (“*Property*”), which is owned by The Catholic Bishop of Chicago, a corporation sole (“*Owner*”), has submitted a final plan application (Plan Commission Docket PCD-25-06) to develop the Property as a 57 lot planned development for 53 townhome units (“*Planned Development*”).

On April 8, 2025, the Board of Trustees of the Village (“*Corporate Authorities*”) adopted (i) Ordinance No. 2025-24 amending the comprehensive plan from Institutional Facility to Multi-Family up to 6 DUA; (ii) Ordinance No. 2025-25 rezoning the Property from the IB Institutional Building to the R-6 Multiple Family Residential District; (iii) Ordinance No. 2025-26 granting a special permit for a Residential Planned Development on the Property; and (iii) Resolution No. 2025-R-45 approving a Development Concept Plan, Tentative Plat of Subdivision, and Providing Conceptual Development Approvals and Subdivision Variations on the Property, all in accordance with the Northbrook Zoning Code (1988), as amended (“*Zoning Code*”) and the Northbrook Subdivision Code, as amended (1991) (“*Subdivision Code*”).

In order to develop the Property as proposed, the Applicant has requested relief from, and approvals under, both the Zoning Code and the Subdivision Code. Specifically, the Applicant has requested, pursuant to Section 11-603 D4 of the Zoning Code, approval of a final plan for the Planned Development on the Property. The Applicant has also requested, pursuant to Section 3-201 of the Subdivision Code, approval of a final plat of subdivision for the Property to allow for subdivision of the existing lot of record on the Property. Finally, the Applicant requested approval of the variations conceptually approved by Resolution No. 2025-R-45. Together these approvals shall be referred to as the “*Requested Relief*.”

The Corporate Authorities have determined that the applicable standards and requirements for granting the Requested Relief have been satisfied, and that approval of the Requested Relief should be granted, subject to and contingent upon the conditions, restrictions, and provisions set forth in this Ordinance.

SECTION 2. DESCRIPTION OF PROPERTY

The Property consists of approximately 11.76 acres and is legally described in *Exhibit A*, attached to and, by this reference, made a part of this Ordinance.

SECTION 3. PUBLIC MEETING

A public meeting was held by the Plan Commission on June 17, 2025, to consider the Applicant’s request for (i) final plan approval of the Planned Development; (ii) final subdivision plat approval; (iii) a variation to reduce the required right-of-way for portions of the proposed public roads; (iv) a variation to allow sidewalks on one side of a public road; (v) a variation to allow a reduced minimum centerline radius from 155 feet to 100 feet; (vi) a variation to allow a reduced minimum radius of a cul-de-sac for both pavement diameter from 107 feet to 92 feet and for the right-of-way diameter from 140 feet to 108 feet; and (vii) site plan approval. The Plan Commission made its recommendation to approve the Applicant’s Requested Relief

on June 17, 2025 (Plan Commission Resolution 25-PC-10).

SECTION 4. APPROVAL OF FINAL PLAN

Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, the final plan for the Planned Development on the Property consisting of the following documents, all of which are incorporated into ***Exhibit B***, attached hereto, and, by this reference, made a part of this Ordinance, (collectively, the "***Final Plan***"), is determined to be in substantial compliance with the Development Concept Plan approved by Resolution No. 2025-R-45, and shall be, and is hereby, approved in accordance with and pursuant to Section 11-603 of the Zoning Code:

- a) Final PUD Plan, prepared by Dickson Design Studio, consisting of one sheet, with a latest revision date of May 21, 2025;
- b) Final Engineering Plans, prepared by Haeger Engineering, with most recent revision date of May 22, 2025;
- c) Final Landscape Plans, prepared by Dickson Design Studio, with most recent revision date of May 21, 2025; and
- d) Building Elevation Plans, prepared by Pulte Group Design, with most recent revision date of February 10, 2025.

All revisions to any of the plans listed in this Section 4 that are reviewed, accepted, and approved by either the Village Engineer or the Village's Director of Development and Planning Services subsequent to the date of adoption of this Ordinance shall be incorporated into, and made a part of this Ordinance and the Final Plan with no further action required by the Corporate Authorities.

SECTION 5. SITE PLAN APPROVAL

Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 6 of this Ordinance, the Final PUD Plan for the Property, prepared by Dickson Design Studio, consisting of one page, with the most recent revision date of May 21, 2025, a copy of which is attached to, and by this reference made a part of, this Ordinance as ***Exhibit B ("Final Plan")***, shall be, and is hereby, approved in accordance with and pursuant to Section 11-604 of the Zoning Code and the home rule powers of the Village.

SECTION 6. CONDITIONS OF APPROVALS

The final plan approval granted in Section 4 and the site plan approval granted in Section 5 of this Ordinance are contingent upon the development, use, and maintenance of the Property being in substantial compliance with the following conditions:

- A. **Compliance with Plans.** The development, use, operation, and maintenance of the Property must comply with the Final Plan and the Final Plat of Subdivision, except for minor changes and site work approved by the Village's Director of Development and Planning Services in accordance with all applicable Village standards.
- B. **Compliance with Regulations.** The development, use, operation, and maintenance of the Property must comply with all applicable Village codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance.
- C. **Subdivision and Development Agreement.** The execution by Applicant and compliance with a Subdivision and Development Agreement in a form acceptable to the Village Attorney.
- D. **Affordable Housing Covenant.** An Affordable Housing Covenant stating compliance

with the requirements of Part III of Article IX of the Zoning Code, entitled "Affordable Housing in New Developments", in a form acceptable to the Village Attorney, must be recorded with the Cook County Clerk's Office.

E. Declaration and Covenants. The declaration and covenants for the Property shall be approved by the Village Attorney and recorded with the Cook County Clerk's Office.

SECTION 7. FAILURE TO COMPLY WITH CONDITIONS

Upon failure or refusal of the Applicant to comply with any or all of the conditions, restrictions or provisions of this Ordinance, the final plan approval granted in Section 4 and the site plan approval granted by Section 5, at the sole discretion of the Board of Trustees, by ordinance duly adopted, be revoked and become null and void as to the particular parcel that is not in compliance; provided, however, that the Board of Trustees may not so revoke the final plan approval or the site plan approval, unless it shall first provide the Applicant, with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Board of Trustees. In the event of revocation, the development and use of the portion of the Property which is subject to such revocation shall be governed solely by the regulations of the R-6 Multiple Family Residential District, as the same may, from time to time, be amended. Further, in the event of such revocation of the relief granted herein, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances against the applicable property owner. The Applicant acknowledges that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice to the Applicant required by this Section has been given.

SECTION 8. AMENDMENT TO APPROVALS

Any amendment to any provision of this Ordinance that may be requested by the Applicant after the effective date of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Code for amendment of such relief.

SECTION 9. EFFECTIVE DATE

This Ordinance shall be in full force and effect only upon the occurrence of all of the following events:

- A. Passage by the Board of Trustees of the Village of Northbrook by a majority vote in the manner required by law;
- B. Publication in pamphlet form in the manner required by law;
- C. Execution of the Subdivision and Development Agreement between the Village and the Applicant; and
- D. Recordation of this Ordinance, together with such exhibits as the Village Clerk shall deem appropriate for recordation, with the Cook County Clerk's Office. The Applicant shall bear the full cost of such recordation.
- E. The acquisition of the Property by the Applicant, or its successor entities or direct affiliates.

RESULT:	ADOPTED [6 – 0]
MOVER:	Johannah Hebl, Trustee
SECONDER:	Matt Cassidy, Trustee
AYES:	Israel, Ross, Hebl, Ebhomien, Kohler, Cassidy
NAYES:	None
ABSTAIN:	Kathryn Ciesla, President
ABSENT:	None

/s/ Kathryn Ciesla

Village President

ATTEST:

/s/ Derek Gau
Village Clerk

EXHIBIT A

CURRENT LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF LOT 25 IN COUNTY CLERK'S DIVISION OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, 693.30 FEET WEST OF THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF SAID SECTION 6; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID SOUTHEAST QUARTER 570.0 FEET; THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID SOUTHEAST QUARTER 143.75 FEET TO THE WEST LINE OF PARCEL 1 DESCRIBED IN THE DEED FROM ELMER R. HALLEN AND ELIZABETH JANE HALLEN, HIS WIFE, TO EDWARD HAJOST AND LEONA HAJOST, HIS WIFE, DATED DECEMBER 18, 1959, AND RECORDED FEBRUARY 9, 1960, AS DOCUMENT 17777781; THENCE NORTH ALONG SAID WEST LINE AND PARALLEL TO THE EAST LINE OF SAID SOUTHEAST QUARTER 156.95 FEET TO THE NORTHWEST CORNER OF PARCEL 1 IN THE AFORESAID DEED; THENCE EAST ALONG THE NORTH LINE OF PARCEL 1 IN SAID DEED 176.50 FEET TO THE EAST LINE OF LOT 25 AFOREMENTIONED; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 25, 363.72 FEET TO THE NORTHEAST CORNER OF SAID LOT 25; THENCE WEST ALONG THE NORTH LINE OF SAID LOT 25, 746.73 FEET TO THE NORTHWEST CORNER OF SAID LOT 25; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 25, 757.21 FEET TO A POINT 338.58 FEET (5.13 CHAINS) NORTH OF THE SOUTH LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 67 DEGREES, 40 MINUTES EAST, 260.70 FEET; THENCE SOUTH 437.58 FEET TO THE SOUTH LINE OF SAID SOUTHEAST QUARTER; THENCE EAST 185.97 FEET TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM, THAT PORTION LYING SOUTHERLY OF THE EXISTING NORtherly FENCE LINE FOR THE CEMETERY), IN COOK COUNTY, ILLINOIS.

PARCEL 2:

LOT 26 IN THE COUNTY CLERK'S DIVISION OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. EXCEPT THOSE PARTS OF LOT 26 CONVEYED IN THE DEEDS RECORDED AS DOCUMENT NUMBERS 24188301, 24193671 AND 26868377.

PERMANENT INDEX NUMBER: 04-06-400-055-0000 and 04-06-400-059-0000

Commonly known as 3700 Dundee Road, Northbrook, Illinois 60062

POST-SUBDIVISION LEGAL DESCRIPTION

LOTS 1 THROUGH 57, BOTH INCLUSIVE, IN THE RESERVE AT THE BROOK SUBDIVISION OF LOTS 25 AND 26 IN COUNTY CLERK'S DIVISION OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS ACCORDING TO THE PLAT OF RESERVE AT THE BROOK SUBDIVISION RECORDED AS DOCUMENT _____ ("RESERVE AT THE BROOK SUBDIVISION").

Permanent Index Number: 04-06-400-055-0000 and 04-06-400-059-0000

All in Northbrook, Illinois 60062

EXHIBIT B

FINAL PLANS

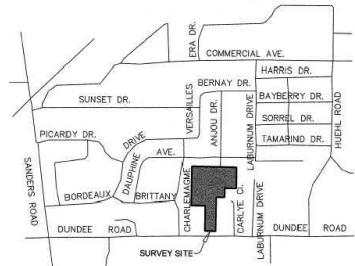
The Final Plan for the Property shall consist of the following plans and specifications which are attached hereto and by this reference made a part of this Ordinance.* In the event of any conflict or inconsistency among the plans and specifications, the later dated plan or specification shall control.

- A. Final PUD Plan, prepared by Dickson Design Studio, consisting of one sheet, with a latest revision date of May 21, 2025;
- B. Final Engineering Plans, prepared by Haeger Engineering, with most recent revision date of May 22, 2025.
- C. Final Landscape Plans, Dickson Design Studio, with most recent revision date of May 21, 2025;
- D. Building Elevation Plans, Pulte Group Design, with most recent revision date of February 10, 2025.

* Pursuant to Section 4 of this Ordinance, all revisions to any of the plans listed in this **Exhibit B** that are reviewed, accepted, and approved by either the Village Engineer or the Village's Director of Development and Planning Services subsequent to the date of adoption of this Ordinance shall be incorporated into, and made a part of this Ordinance and the Final Plan with no further action required by the Corporate Authorities.

LOCATION MAP

NOT TO SCALE



SITE DATA

GROSS SITE
PERIMETER ROAD R.O.W. (DUNDEE)
NET SITE AREA

ACRES
11.75
0.21
11.54

PERCENT
100.00%
1.79%
98.21%

NET SITE AREA
PUBLIC STREET RIGHT-OF-WAY
BUILDING COVER
PAVEMENT COVER¹⁾
OPEN SPACE

ACRES
11.54
2.30
2.42
0.80
8.01

PERCENT
100.00%
19.96%
21.00%
6.97%
62.96%

TOTAL NUMBER OF UNITS
GROSS DENSITY (53 DU / 11.75 AC.)
NET DENSITY (53 DU / 9.24 AC.)

= 53
= 53 DU/AC.
= 5.74 DU/AC.

BEDROOM MIX
3 BEDROOM UNITS

= 53 (100%)

PARKING REQUIRED:
GARAGE / DRIVEWAY
GUEST
TOTAL

= 3 SPACES / UNIT
= 0.5 SPACES / UNIT
= 3.5 SPACES / UNIT

PARKING PROVIDED:
GARAGE / DRIVEWAY
GUEST (INCLUDES 2 ACCESSIBLE SPACES)
TOTAL

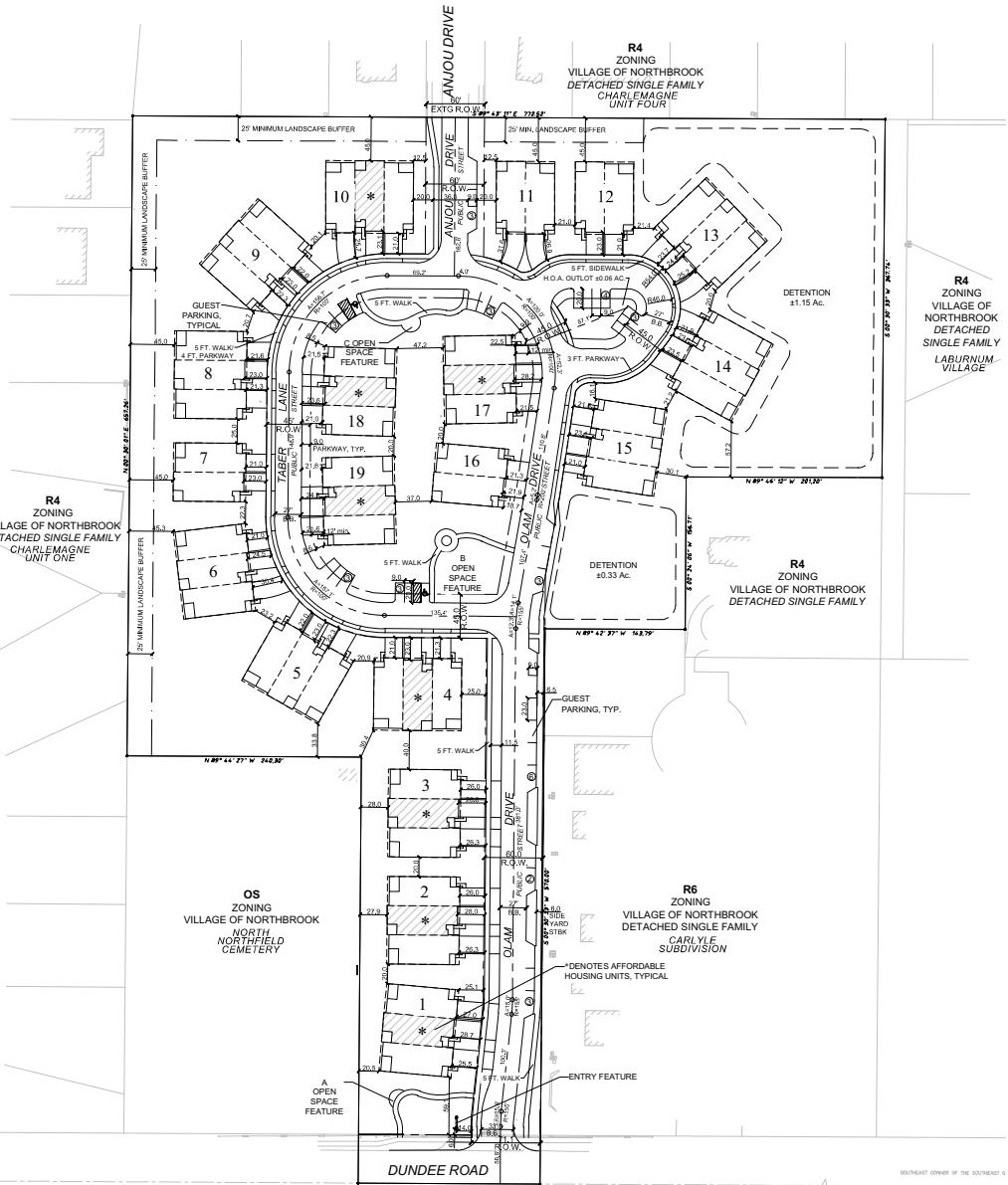
= 212 SPACES (4.1)
= 36 SPACES (0.681)
= 248 SPACES (4.68 SPACES / UNIT)

DESIGN STANDARDS

	ALLOWED (R4)	PROPOSED (PUD)
MAXIMUM BUILDING HEIGHT	35 FT.	33 FT.
FEET		
STORES	3	2
MINIMUM LOT AREA (PLANNED DEVELOPMENT)	100,000 SF	402,014 SF ¹⁾
MINIMUM LOT WIDTH		
ALL USES	60 FT.	60 FT. BUILDING WIDTH (2-UNIT)
MINIMUM YARDS & SETBACKS		
FRONT AND CORNER SIDE YARD / SETBACK	25 FT.	59 FT. (DUNDEE RD.)
MIN. SIDE YARD / SETBACK	6 FT.	20 FT. (CEMETERY)
REAR YARD / SETBACK	30 FT.	45 FT. (CHARLEMAGNE)
PUD MINIMUM STANDARDS & SEPARATIONS		
BUILDING TO PERIMETER (CEMETERY)	20 FT.	
BUILDING TO PERIMETER (CHARLEMAGNE)	45 FT.	
BUILDING TO PUBLIC PROPERTY LINE	30 FT.	
GARAGE TO R.O.W.	12 FT.	
GARAGE TO BACK OF CURB / WALK	21 FT.	
BUILDINGS TO BUILDING	20 FT.	
SIDE TO SIDE	20 FT.	
SIDE TO REAR	40 FT.	
REAR TO REAR	37 FT.	
MINIMUM DWELLING UNIT SIZE	1,000 SF	2,725 SF
MAXIMUM FLOOR AREA RATIO	0.40	0.4379
MAXIMUM LOT COVERAGE	65%	34.4%

NOTES:

- 1) EXISTING ZONING IS R4 IN THE VILLAGE OF NORTHBROOK; PROPOSED ZONING IS R6 RD IN THE TULAGE OF NORTHBROOK.
- 2) TYPICAL UNIT FOOTPRINT IS 30'0" X 40'0".
- 3) PAVEMENT COVER EXCLUDES PAVEMENT & WALKS WITHIN R.O.W.
- 4) LOT AREA EXCLUDES PUBLIC STREETS.
- 5) REFUSE AND RECYCLING CONTAINERS SHALL BE STORED WITH GARAGES.
- 6) PUD AC UNIT LOCATIONS TO BE DETERMINED BASED ON UNIT SIZES.
- 7) AC UNITS SHALL BE LOCATED IN THE REAR; SEE FOUNDATION LANDSCAPE PLANS.



VENTURE 10LB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE:

APRIL 18, 2025

REVISIONS:

1. 5/21/25 PER STAFF COMMENTS
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.

PROJECT NAME AND SHEET TITLE:

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL PUD PLAN

SHEET NUMBER:

1 OF 1



THE RESERVE AT THE BROOK

3700 DUNDEE ROAD

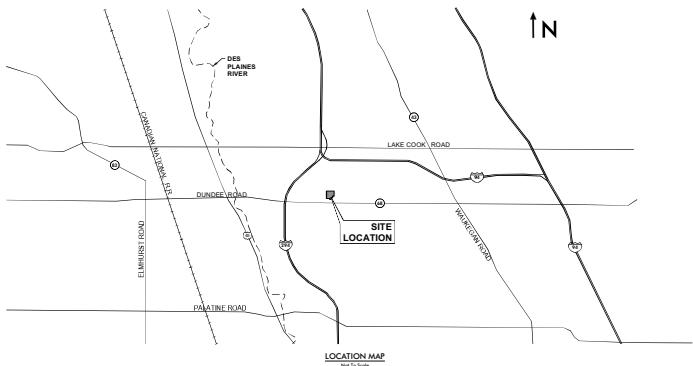
SITE IMPROVEMENT PLANS

SECTION 6 TOWNSHIP 42 NORTH RANGE 12 EAST
NORTHBROOK, ILLINOIS
COOK COUNTY

DEVELOPER
Haege Engineering LLC
605 N. Michigan Avenue
Chicago, IL 60611

PREPARED BY
Haege Engineering LLC
Illinois Prof. Design Firm #184-003152
100 E. State Parkway
Schaumburg, IL 60173
Tel: 847-394-6600
Fax: 847-394-6608
www.haegeengineering.com

VILLAGE OF NORTHBROOK
655 Huelh Road
Northbrook, IL 60062
Tel: 847-272-6550



SITE BENCHMARKS:
CP # 650 (see survey)
Description: Iron Rod
Elevation: 689.08 NAVD 88 (Geoid 12A)

CP # 612 (see survey)
Description: Cross Notch
Elevation: 689.96 NAVD 88 (Geoid 12A)

CP # 617 (see survey)
Description: Cross Notch
Elevation: 692.42 NAVD 88 (Geoid 12A)

CP # 619 (see survey)
Description: NE Bolt on Hydrant
Elevation: 693.23 NAVD 88 (Geoid 12A)



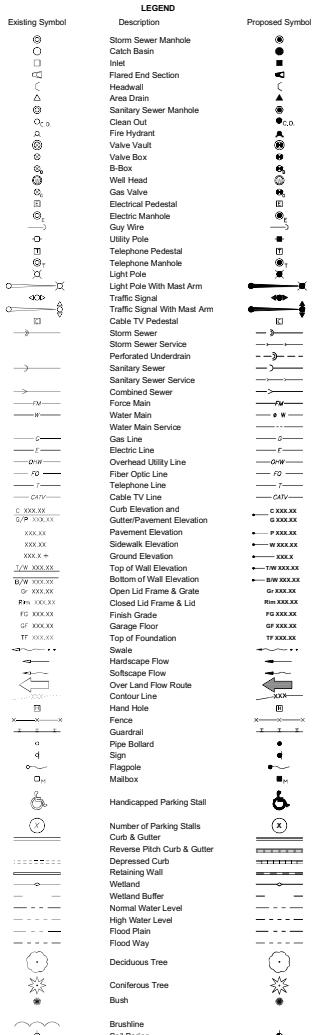
Know what's below.
Call before you dig.

Note:
Call 811 at least 48 hours, excluding
weekends and holidays, before you dig.

INDEX TO SHEETS	
NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	GENERAL NOTES & SPECIFICATIONS
C2.1	GENERAL NOTES & SPECIFICATIONS
C2.2	MWD GENERAL NOTES
C3.0	EXISTING CONDITIONS PLAN
C4.0	DRY CREEK PROFILE
C5.0	GEOMETRY, PAVING, STRIPING & SIGNAGE PLAN
C6.0	GRADING & DRAINAGE PLAN
C7.0	UTILITY PLAN
C7.1	WATER SERVICE PLAN
C8.0	ROADWAY PROFILES
C8.1	SANITARY SEWER PROFILE
C9.0	WATER MAIN PROFILE
C9.1	TOPICAL DETAILS

INDEX TO STORM WATER POLLUTION PREVENTION PLAN SHEETS	
NO.	DESCRIPTION
EC-1	SWPPP TITLE SHEET
EC-2	SWPPP GENERAL NOTES & SPECIFICATIONS
EC-3	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
EC-4	SWPPP TYPICAL DETAILS

INDEX TO EXHIBITS	
NO.	DESCRIPTION
EX1.0	MWD DEVELOPMENT AGREEMENT EXHIBIT
EX2.0	MWD DRAINAGE EXHIBIT
EX3.0	MWD VOLUME CONTROL EXHIBIT
EX4.0	MWD MAINTENANCE & MONITORING EXHIBIT

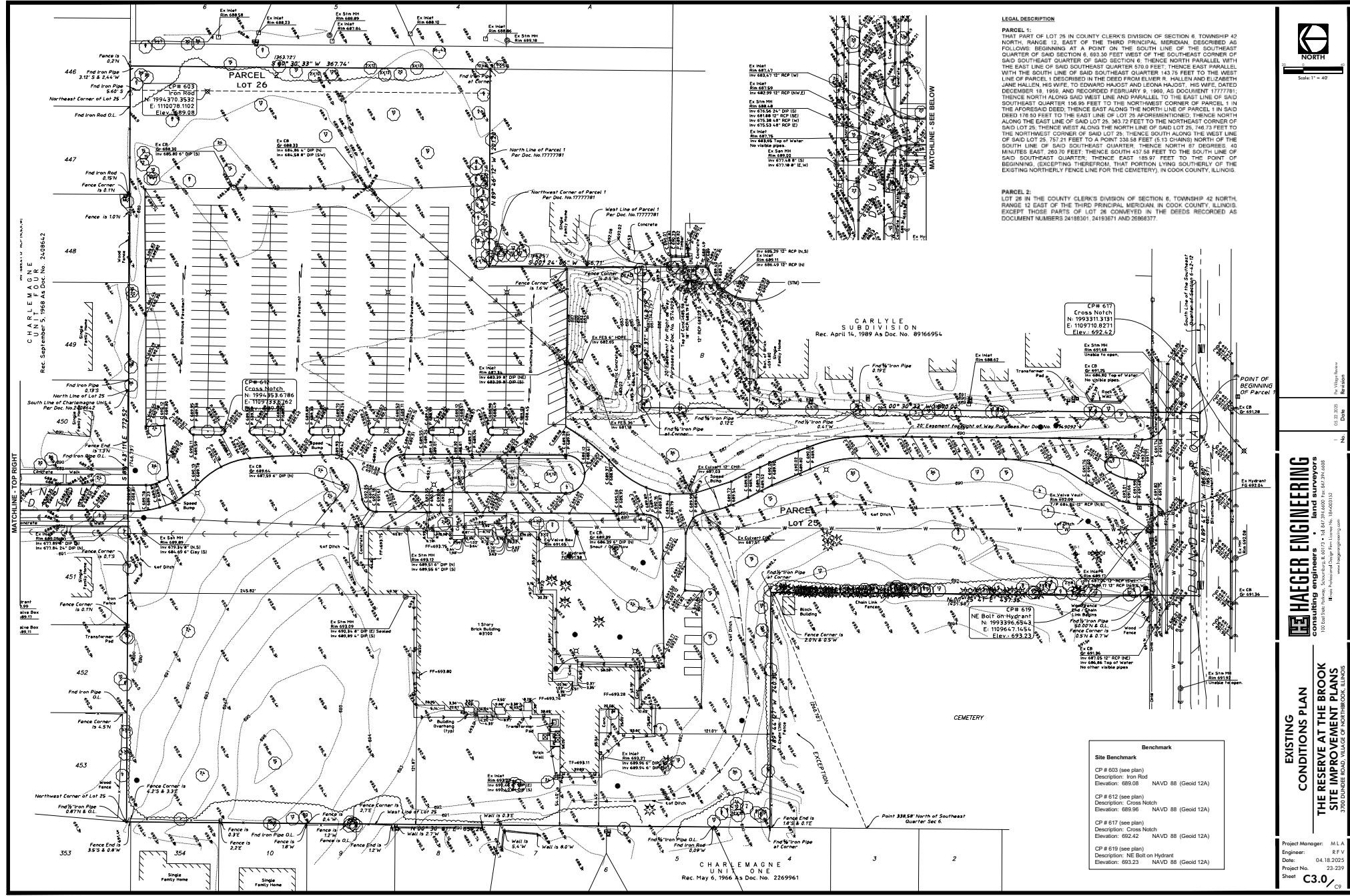


HAEGER ENGINEERING
consulting engineers • land surveyors
100 E. State Parkway, Schaumburg, IL 60173 • 847.394.6600 • Fax 847.394.6608
www.haegeengineering.com

TITLE SHEET
THE RESERVE AT THE BROOK
SITE IMPROVEMENT PLANS
3700 DUNDEE ROAD, VILLAGE OF NORTHBROOK, ILLINOIS

Project Manager: M.L.A.
Engineer: B.F.V.
Date: 04.18.2025
Project No.: 23-239
Sheet C1.0/C9

For Village of Northbrook
Date: 05.22.2015
Job No.: 23-239
Rev. No.: 01
Sheet No.: 01



HE HAEGER ENGINEERING consulting engineers land surveyors

100 Bassgate Parkway, Schenectady, NY 12303 • Tel: 847.394.6600 • Fax: 847.394.6605
ITM Professional Design Firm • License No. 184-003152
www.itmengineering.com

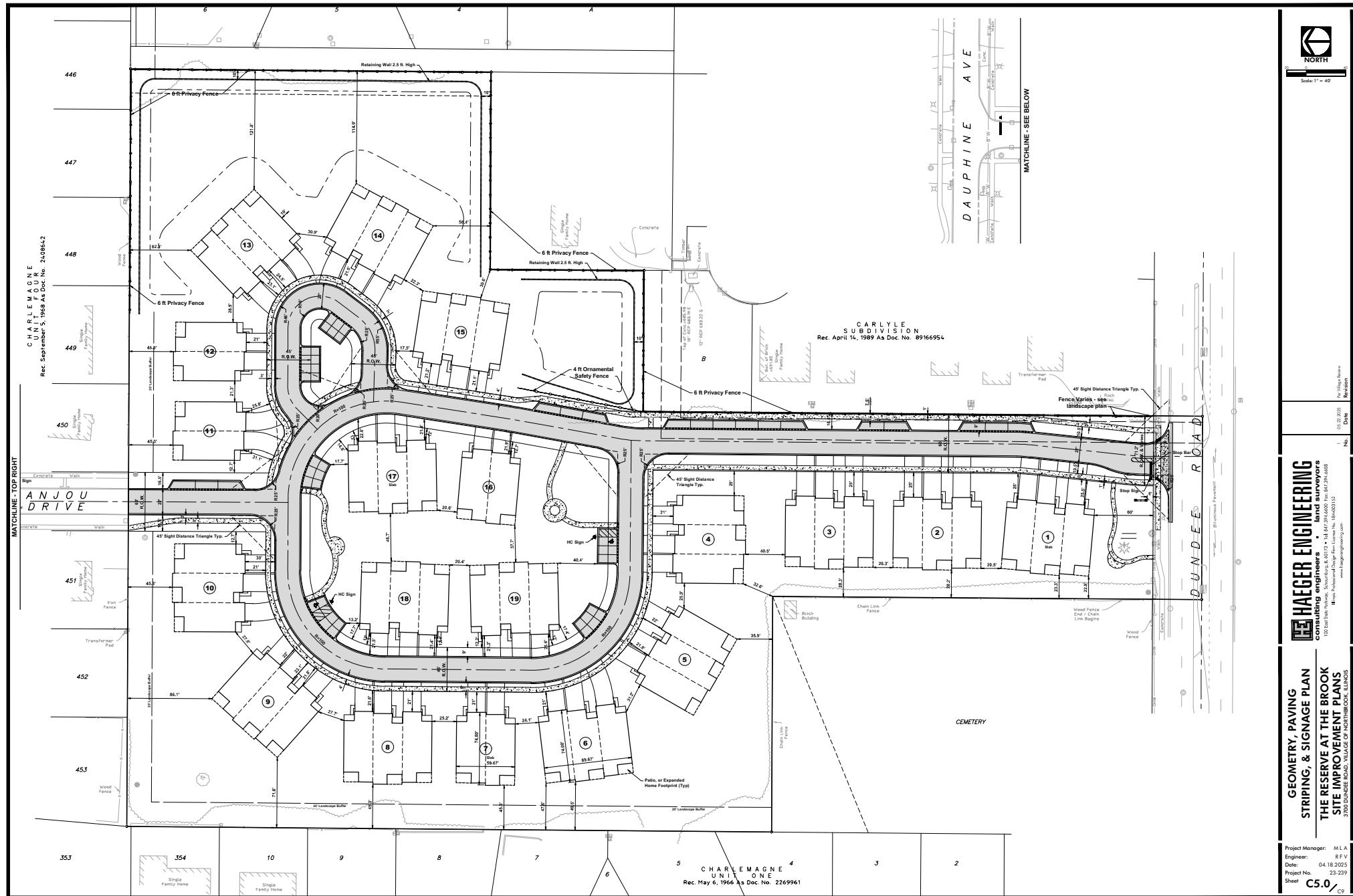
EXISTING CONDITIONS PLAN

THE RESERVE AT THE BROOK SITE IMPROVEMENT PLANS

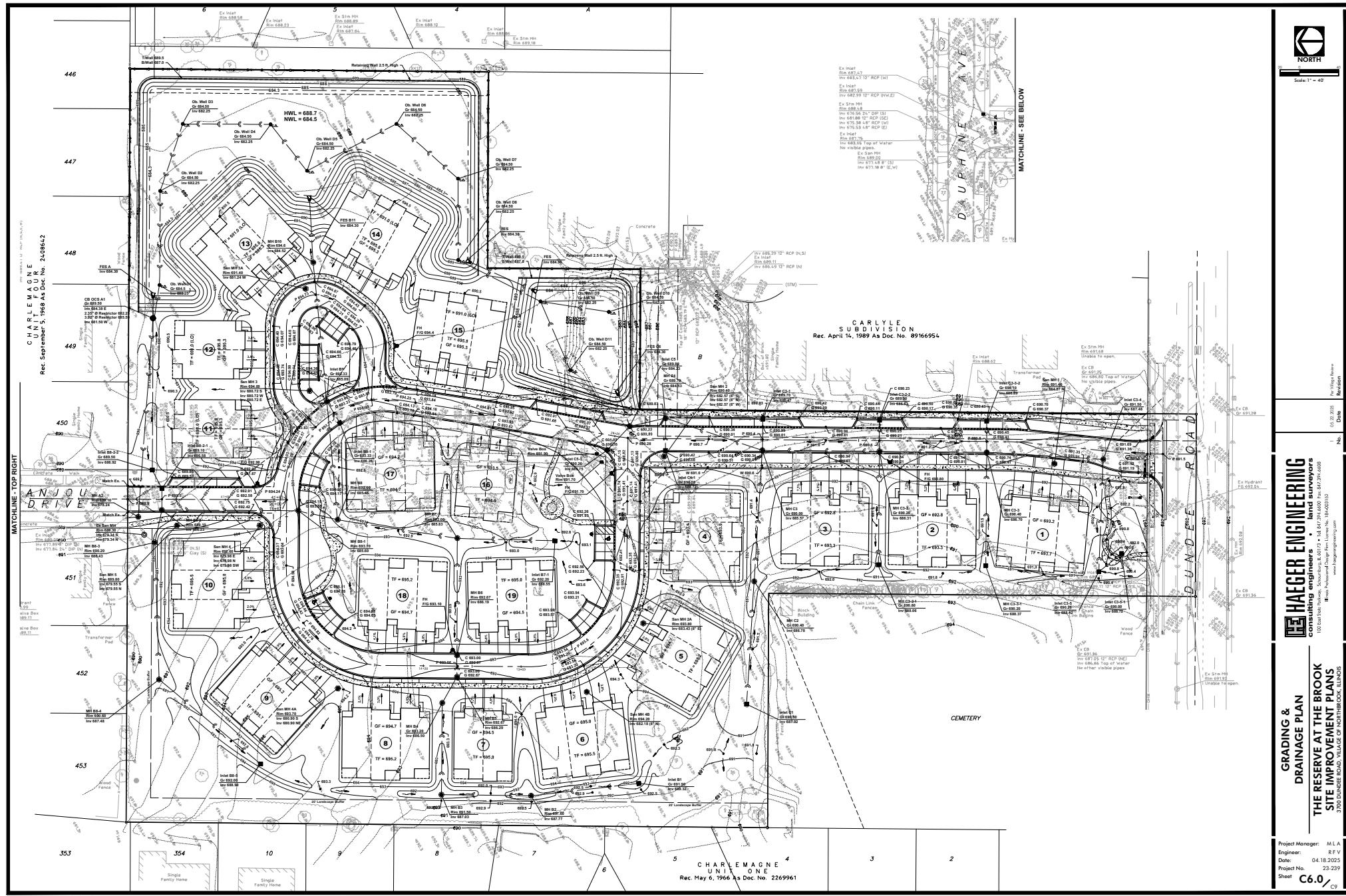
3700 DUNDEE ROAD, VILLAGE OF NORTHBROOK, ILLINOIS

Project Manager: M L A
Engineer: R F V
Date: 04.18.2025
Project No. 23-239
Sheet C3.0

C9



Project Manager: M LA
Engineer: R F V
Date: 04.18.2025
Project No. 23-239
Sheet **C5.0** / C9



HAEGER ENGINEERING consulting engineers land surveyors

GRADING & DRAINAGE PLAN

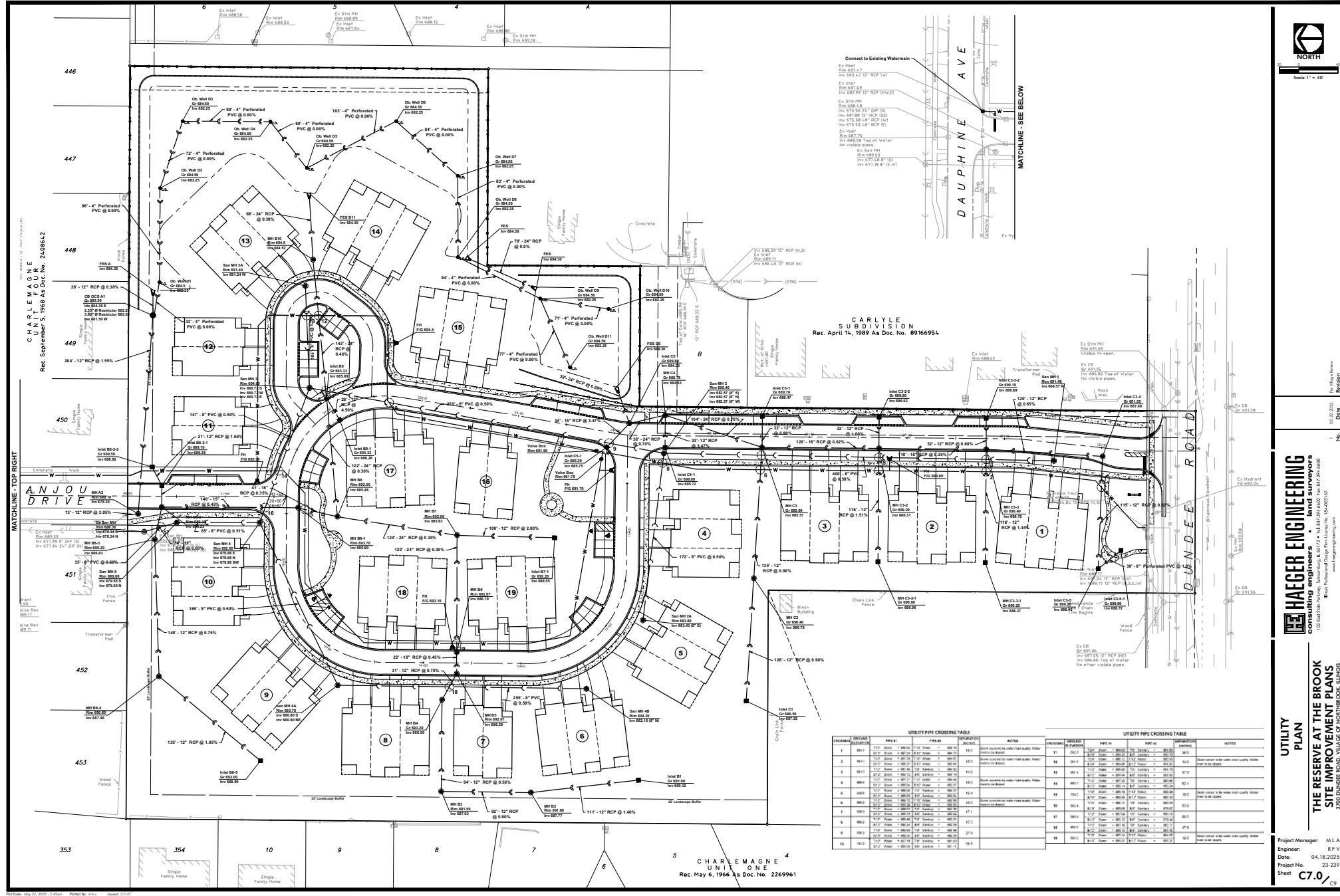
THE RESERVE AT THE BROOK SITE IMPROVEMENT PLANS

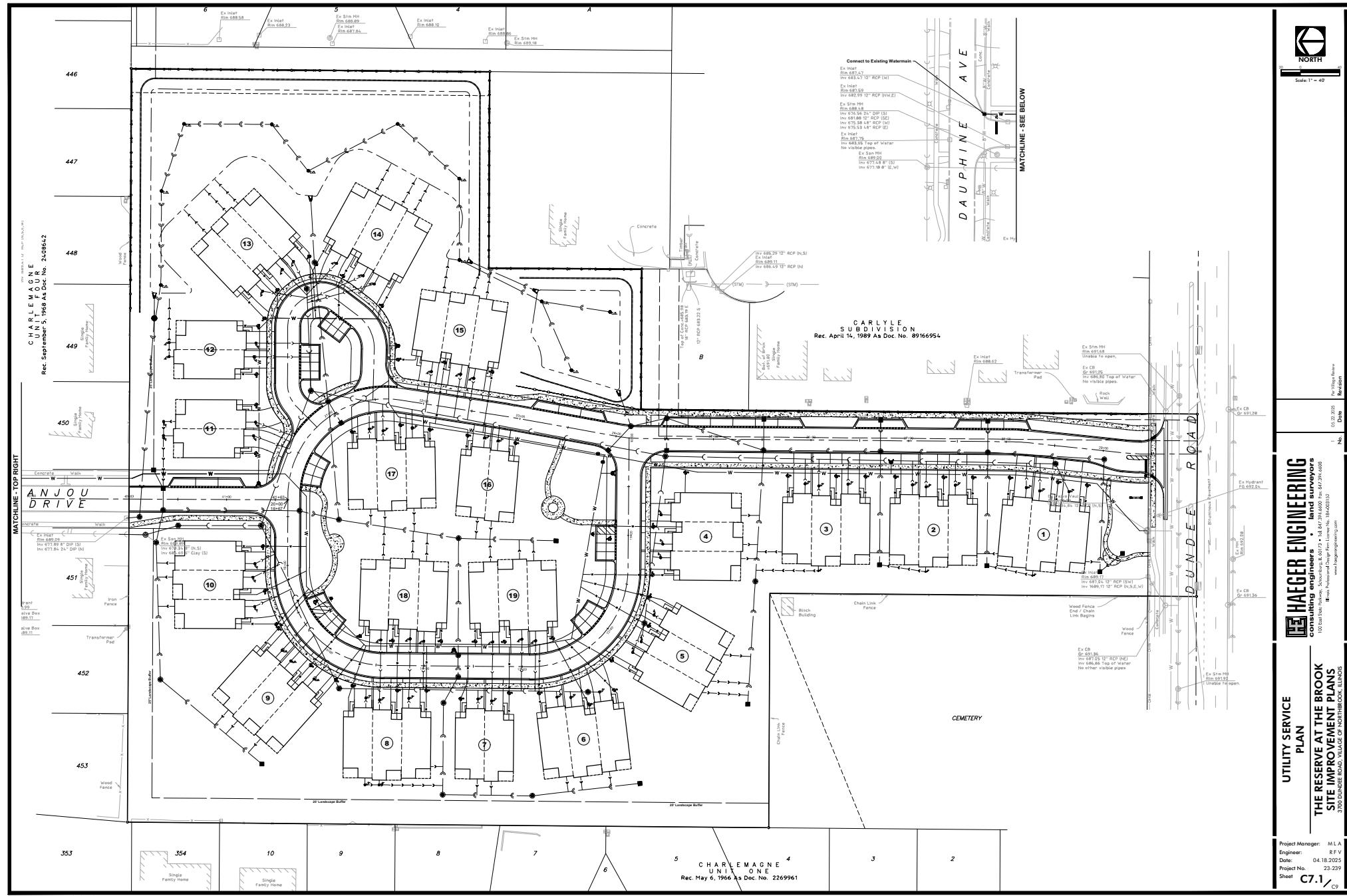
3700 DUNDEE ROAD, VILLAGE OF NORTH BROOK, ILLINOIS

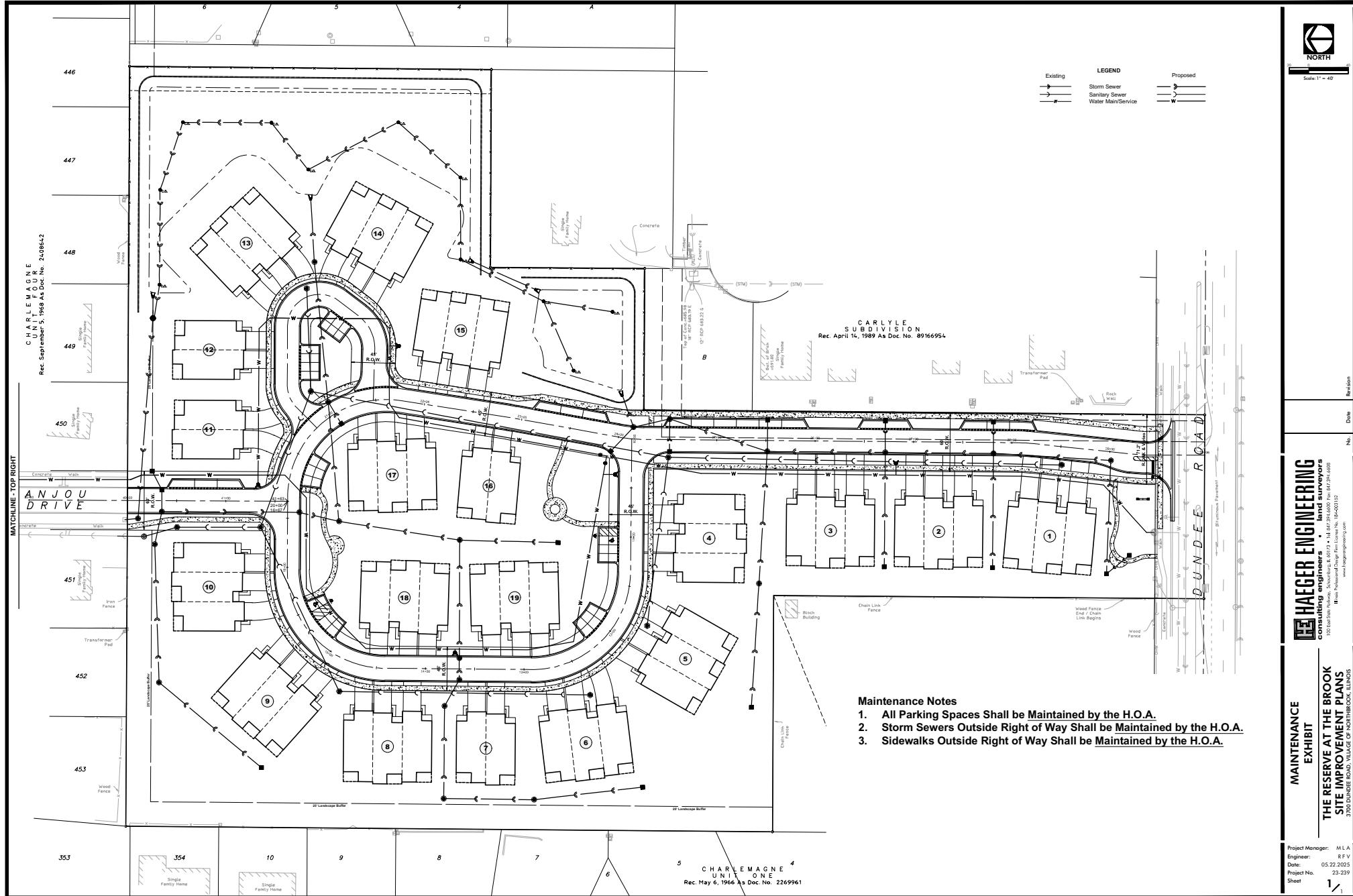
No.	Date	Per <i>Villa</i> a Revise w	Revision
60173 - 144-394-6600	Mar. 647,394.6600	Mar. 647,394.6605	Sign. Firm: <i>Lionel Hsu</i> 184-003152 genenginc@eng.com

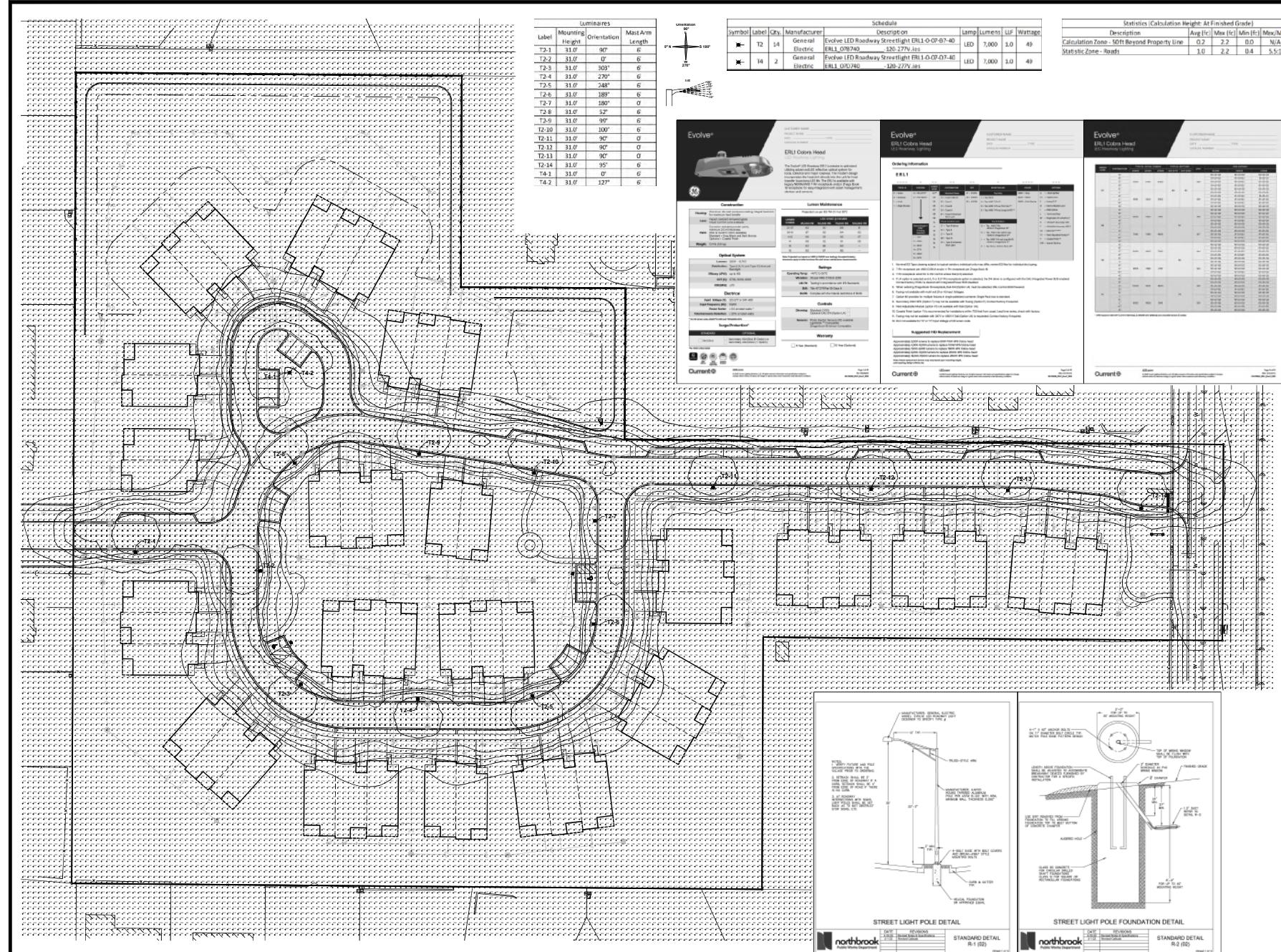
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er: MLA
RFV
04.18.2025
23-239
.0 / C9









HAEGER ENGINEERING

SITE LIGHTING AND PHOTOMETRIC PLAN

THE RESERVE AT THE BROOK
SITE IMPROVEMENT PLANS

1

consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152

1

113

Land surveyors
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847.394.6608

Land surveyor
1,6600 Post: 847.394.6666
44-203152

rs • la
60173 Tel: 847.398
Sign Firm License No. 18

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Catalog
2013-2014

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THE BROOKLYN DIALECT

SERVE AT T
100°BOVEM

THE RESUME

14

7

100

The Reserve at The Brook

3700 DUNDEE ROAD | NORTHBROOK, IL

PROJECT TEAM

DEVELOPERS:

VENTURE 1 OLB, LLC
401 N. MICHIGAN AVE., SUITE 1200
CHICAGO, IL 60611
TEL (312) 848-4845
CONTACT: SY TAXMAN / MOISES CUKIERMAN

ARCHITECT / BUILDER:

PULTE HOMES
1900 EAST GOLF ROAD, SUITE 300
SCHAUMBURG, IL 60173
CONTACT: ROB GETZ

SURVEYOR / CIVIL ENGINEER:

HAEGER ENGINEERING
100 EAST STATE PARKWAY
SCHAUMBURG, IL 60173
TEL (847) 394-6600
CONTACT: MIKE ANDERSON

PLANNER / LANDSCAPE ARCHITECT:

DKC DESIGN STUDIO, INC.
9 CRYSTAL LAKE ROAD, SUITE 110
LAKE IN THE HILLS, IL 60156
TEL (224) 241-8181
CONTACT: SHARON DICKSON / JEFF TORRENS

ARBORIST:

DAVEY RESOURCE GROUP, INC.
NATURAL RESOURCE CONSULTING
TEL (414) 517-1695
CONTACT: PETE SORENSEN

ECOLOGIST:

INDIGO ECOLOGICAL DESIGN
P.O. BOX 26
ALGONQUIN, IL 60102
TEL (810) 923-6582
CONTACT: STACEY LIBRA

SHEET INDEX

L0.1 SHEET INDEX
PROJECT TEAM

L0.2 NOTES: TREE PRESERVATION
DETAIL: TREE PROTECTION FENCE
DETAIL: PLANTING
NOTES: GENERAL LANDSCAPE

L1.0 SHEET KEY -
TREE PRESERVATION & REMOVAL PLAN
LANDSCAPE PLAN

L1.1 TREE PRESERVATION & REMOVAL PLAN - SOUTH
SUMMARY: TREE REMOVAL & REPLACEMENT

L1.2 TREE PRESERVATION & REMOVAL PLAN - NORTH

L1.3 TREE INVENTORY - ONSITE & OFFSITE
RATING SCALE: TREE CONDITION / FORM
ARBORIST METHODS

L2.1 FINAL LANDSCAPE PLAN - SOUTH
PLANT & MATERIALS LIST: OVERALL

L2.2 FINAL LANDSCAPE PLAN - NORTH

L2.3 LANDSCAPE PLAN DETAILS: AMENITY AREA
PLANT & MATERIALS LIST: AMENITY AREAS
NORTH
SOUTH & ENTRANCE AREA
CENTRAL COMMONS

L2.4 LANDSCAPE PLAN DETAILS: FOUNDATIONS
PLANT & MATERIALS LISTS: FOUNDATIONS
TYPICAL 2-UNIT FOUNDATION
TYPICAL 3-UNIT FOUNDATION

L2.5 LANDSCAPE PLAN DETAILS: FOUNDATIONS
PLANT & MATERIALS LIST: LOOK-OUT
TYPICAL LOOK-OUT FOUNDATION

L2.6 LAYOUT PLAN: TURF & STORMWATER AREAS

L2.7 STORMWATER MANAGEMENT AREA
PLANT & MATERIALS LIST
NOTES

L3.1 SPECIFICATIONS & DETAILS
(SITE FEATURES:
SEATING BENCH & MONUMENT SIGN)

L3.2 SPECIFICATIONS & DETAILS
(FENCING)



9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1. 5/21/25 PER STAFF COMMENTS
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____

PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

**TREE PRESERVATION / REMOVAL
& FINAL LANDSCAPE PLAN**

SHEET NUMBER

L0.1

**TREE PRESERVATION / REMOVAL
SHEET L1.2**

**FINAL LANDSCAPE PLAN
SHEET L2.2**

**TREE PRESERVATION / REMOVAL
SHEET L1.1**

**FINAL LANDSCAPE PLAN
SHEET L2.1**



SHEET KEY: TREE PRESERVATION & REMOVAL / FINAL LANDSCAPE PLAN

SCALE: 1" = 60'-0"

0 30' 60' 120'



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STUDIO**

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

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- 2.
- 3.
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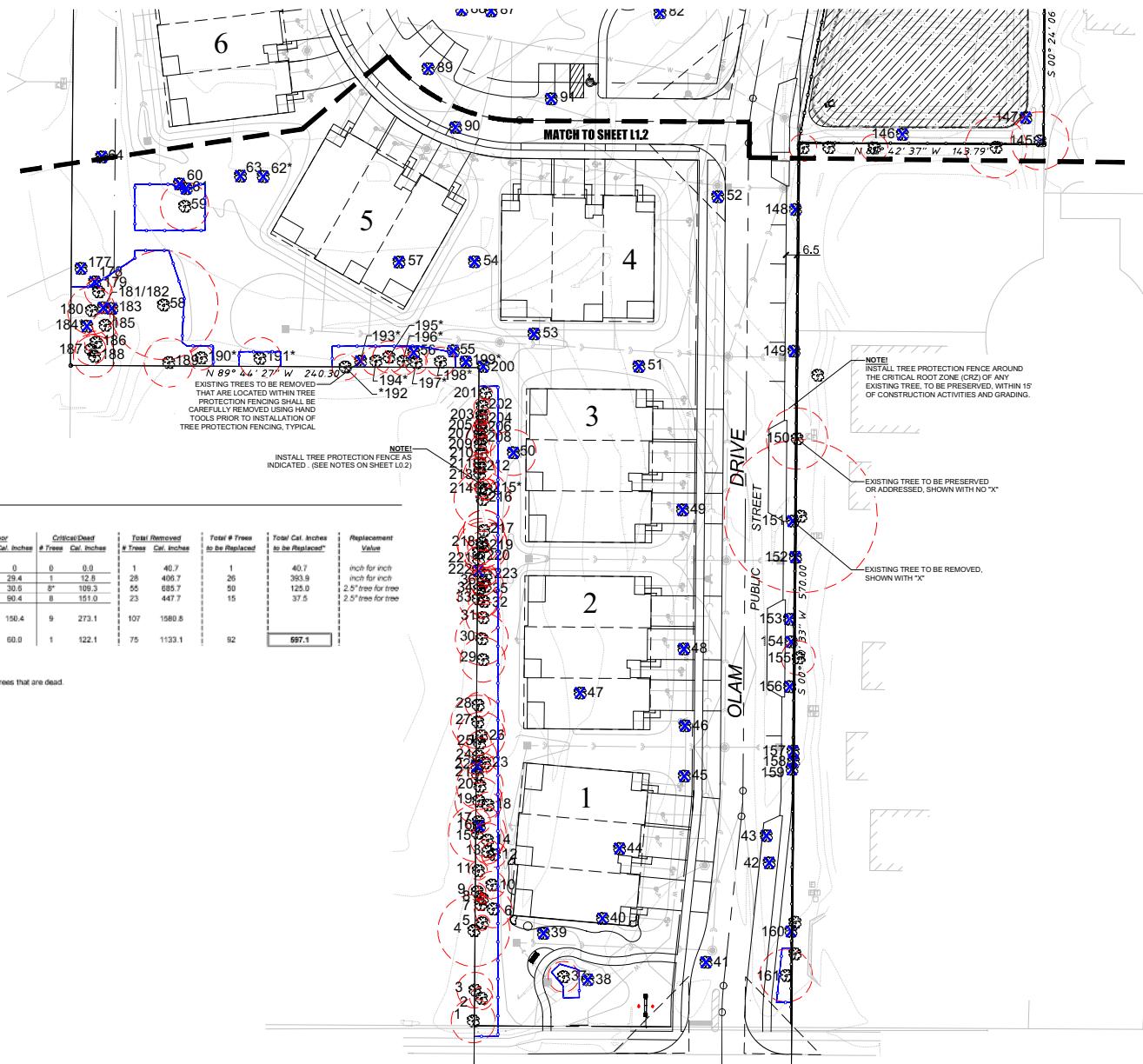
PROJECT NAME AND SHEET TITLE

**THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL**

**TREE PRESERVATION / REMOVAL
& FINAL LANDSCAPE PLAN
- SHEET KEY**

SHEET NUMBER

L1.0



9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

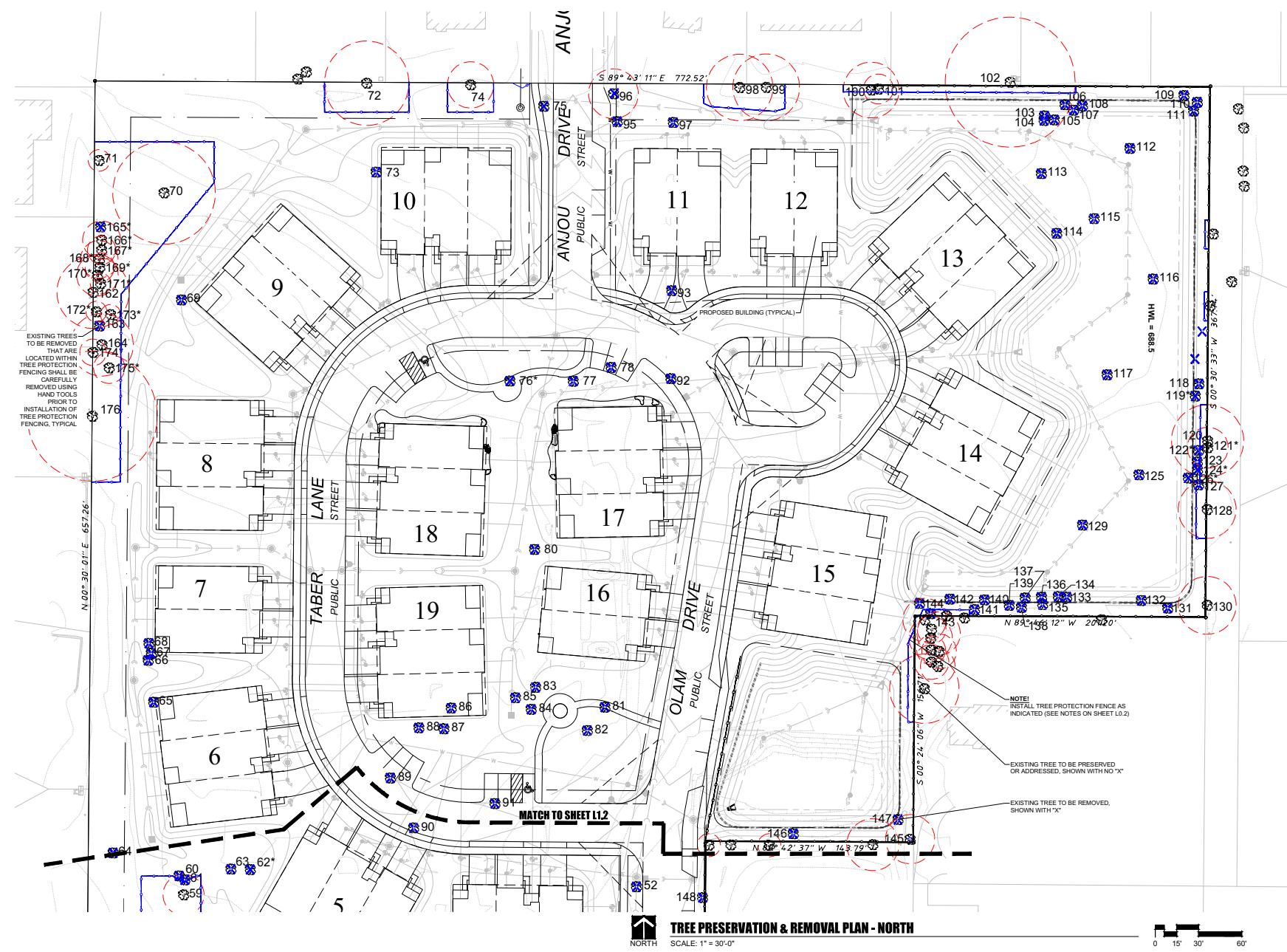
PLAN DATE:
APRIL 18, 2025

REVISIONS	
1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE
THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

TREE PRESERVATION / REMOVAL
- SOUTH

SHEET NUMBER
L1.1



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9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS
VENTURE 101B, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2023

REVISIONS	
1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE
THE RESERVE AT THE BROOK

**TREE PRESERVATION / REMOVAL
- NORTH**

SHEET NUMBER

www.english-test.net

TREE PRESERVE

0RTH SCALE: 1" = 30'-0"

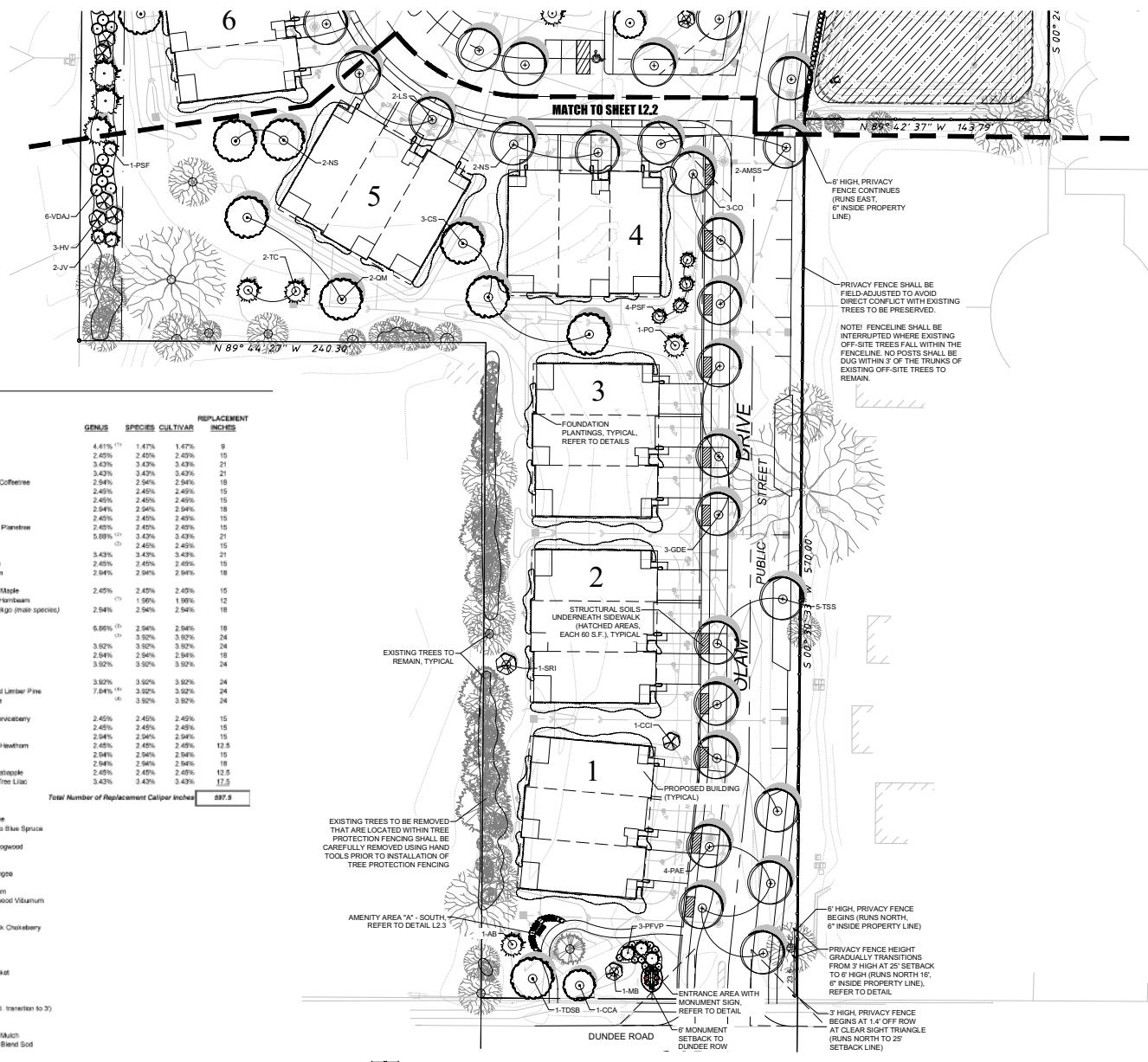
— 0 15' 30'

TREE INVENTORY - ON SITE

Tag #	Common Name	Scientific Name	DBH	Condition	Category	Outcome
2	Norway maple	<i>Acer platanoides</i>	6.7	Fair	Protected	PRSERV
3	Norway maple	<i>Acer platanoides</i>	10.3	Fair	Protected	PRSERV
4	Common maple	<i>Acer saccharum</i>	8.8	Fair	Protected	PRSERV
6	Black walnut	<i>Quercus nigra</i>	11.1	Fair	Protected	PRSERV
7	Urginea species	<i>Amorphophallus spp.</i>	6.7	Fair	Protected	PRSERV
8	Urginea species	<i>Amorphophallus spp.</i>	5.4	Fair	-	PRSERV
9	Norway maple	<i>Acer platanoides</i>	5.1	Good	-	PRSERV
10	Common maple	<i>Acer saccharum</i>	7.7, 7.8	Fair	Nuisance	ADROESS
11	Norway maple	<i>Acer platanoides</i>	5.4	Good	-	PRSERV
12	Norway maple	<i>Acer platanoides</i>	7.4	Good	Protected	ADROESS
13	Norway maple	<i>Acer platanoides</i>	7.2	Fair	Protected	ADROESS
14	Common maple	<i>Acer saccharum</i>	8.1, 8.5, 8.9	Fair	Protected	ADROESS
15	American elm	<i>Prunus nigra</i>	16.9	Fair	Protected	PRSERV
16	American elm	<i>Prunus nigra</i>	17.1	Dead	Protected	REMOVE
17	Norway maple	<i>Acer platanoides</i>	7.1	Fair	Protected	PRSERV
18	Norway maple	<i>Acer platanoides</i>	7.5	Good	Protected	ADROESS
19	Norway maple	<i>Acer platanoides</i>	15.9	Fair	Protected	PRSERV
20	American elm	<i>Prunus nigra</i>	13.7	Fair	Protected	PRSERV
21	Urginea species	<i>Amorphophallus spp.</i>	11.0	Good	Protected	PRSERV
22	Urginea species	<i>Amorphophallus spp.</i>	6.7	Dead	Protected	REMOVE
23	Norway maple	<i>Acer platanoides</i>	5.8	Fair	Protected	PRSERV
24	Common maple	<i>Prunus nigra</i>	11.0	Fair	Protected	PRSERV
25	Norway maple	<i>Acer platanoides</i>	5.5, 5.5	Fair	Protected	PRSERV
26	Norway maple	<i>Acer platanoides</i>	10.7, 10.5	Fair	Protected	PRSERV
27	Boisier's maple	<i>Prunus boissieri</i>	15.7	Fair	Landmark	PRSERV
28	Urginea species	<i>Amorphophallus spp.</i>	1.1	Fair	Protected	PRSERV
29	Norway maple	<i>Acer platanoides</i>	11.2	Fair	Protected	PRSERV
30	Norway maple	<i>Acer platanoides</i>	15.5	Fair	Protected	PRSERV
31	Norway maple	<i>Acer platanoides</i>	10.0	Fair	Protected	PRSERV
32	Norway maple	<i>Acer platanoides</i>	9.9	Fair	Protected	PRSERV
33	Common maple	<i>Prunus nigra</i>	11.7	Fair	Protected	PRSERV
34	Northern white cedar	<i>Thuya occidentalis</i>	7.9	Fair	Protected	PRSERV
35	Norway maple	<i>Acer platanoides</i>	10.9	Fair	Protected	PRSERV
36	Norway maple	<i>Acer platanoides</i>	7.7	Fair	Protected	PRSERV
37	Red maple	<i>Acer rubrum</i>	9.0	Good	Protected	PRSERV
38	Blue spruce	<i>Picea pungens</i>	9.9	Good	Protected	REMOVE
39	Blue spruce	<i>Picea pungens</i>	9.9	Dead	Protected	REMOVE
40	Crabapple	<i>Malus spp.</i>	5.3, 3.5, 3.8, 9.3, 2.2, 2.8	Good	Protected	REMOVE
41	Norway maple	<i>Acer platanoides</i>	13.2	Fair	Protected	REMOVE
42	Common maple	<i>Prunus nigra</i>	4.5, 3.2, 3.3	Fair	Protected	PRSERV
43	Spotted alder	<i>Alnus incana</i>	4.0, 2.5, 2.8	Critical	Protected	REMOVAL
44	Crabapple	<i>Malus spp.</i>	7.2	Good	Protected	REMOVE
45	Caffrey pear	<i>Pyrus caucasicus</i>	13.9	Good	Protected	REMOVE
46	Red maple	<i>Acer rubrum</i>	11.9	Good	Protected	REMOVE
47	Red maple	<i>Acer rubrum</i>	3.7	Critical	Future (JDN)	REMOVE
48	Fir - pink	<i>Abies amabilis</i>	24.6	Fair	Landmark	REMOVE
49	Fir - pink	<i>Abies amabilis</i>	24.1	Fair	Landmark	REMOVE
50	Northern maple	<i>Acer platanoides</i>	13.4	Fair	Protected	REMOVE
51	Northern maple	<i>Acer platanoides</i>	12.6	Fair	Protected	REMOVE
52	Winged euonymus	<i>Spiraea alpina</i>	2.2	Fair	Nuisance	REMOVE
53	Bur oak	<i>Quercus macrocarpa</i>	11.9	Fair	Landmark	REMOVE
54	Norway maple	<i>Acer platanoides</i>	12.9	Fair	Landmark	REMOVE
55	Elm - smooth	<i>Ulmus pumila</i>	17.7	Critical	Nuisance	REMOVE
56	Elm - smooth	<i>Ulmus pumila</i>	21.1	Fair	Nuisance	REMOVE
57	Norway maple	<i>Acer platanoides</i>	12.8	Dead	Landmark	REMOVE
58	Eastern cattleya	<i>Populus deltoides</i>	3.2	Fair	Landmark	PRSERV
59	Bur oak	<i>Quercus macrocarpa</i>	14.2	Good	Protected	PRSERV
60	Common alder	<i>Alnus glutinosa</i>	27.5	Fair	Protected	PRSERV
61	Jurinea species	<i>Argemone spp.</i>	4.5, 3.0	Good	Protected	REMOVE
62	Ginkgo	<i>Ginkgo biloba</i>	6.0	Good	Protected	REMOVE
63	Ginkgo	<i>Ginkgo biloba</i>	10.5	Good	Protected	REMOVE
64	Jurinea species	<i>Argemone spp.</i>	10.6, 8.5, 8.4, 7.3	Fair	Protected	PRSERV
65	Common alder	<i>Alnus glutinosa</i>	27.3	Fair	Protected	PRSERV
66	Bur oak	<i>Quercus macrocarpa</i>	18.6	Fair	Landmark	REMOVE
67	Bur oak	<i>Quercus macrocarpa</i>	17.8	Fair	Landmark	REMOVE
68	Bur oak	<i>Quercus macrocarpa</i>	14.9	Fair	Landmark	REMOVE
69	Bur oak - pink oak	<i>Quercus rubra</i>	29.5	Fair	Landmark	REMOVE
70	Eastern cattleya	<i>Populus deltoides</i>	35.5	Fair	Nuisance	PRSERV
71	Bur oak	<i>Quercus macrocarpa</i>	7.3	Good	Protected	PRSERV
72	Silver maple	<i>Acer saccharinum</i>	29.2	Fair	Protected	PRSERV
73	Common alder	<i>Alnus glutinosa</i>	6.7	Fair	Protected	PRSERV
74	Common alder	<i>Alnus glutinosa</i>	23.8, 14.8	Fair	Nuisance	PRSERV
75	Northern white cedar	<i>Thuya occidentalis</i>	6.9, 6.8, 5.7, 2.0, 7.8	Good	Landmark	REMOVE
76	Blue spruce	<i>Picea pungens</i>	21.0	Critical	Protected	REMOVAL
77	Northern pin oak	<i>Quercus ellipsoidalis</i>	20.7	Good	Landmark	REMOVE
78	Common purple spruce	<i>Picea pungens</i>	8.4	Good	Protected	REMOVE
79	Common purple spruce	<i>Picea pungens</i>	17.9	Fair	Protected	REMOVE
80	Caffrey pear	<i>Pyrus caucasicus</i>	9.3, 13.0, 7.4, 3.6	Critical	Protected	REMOVE
81	Blue spruce	<i>Picea pungens</i>	4.4, 4.6, 7.4, 3.6	Fair	Protected	REMOVE
82	Crabapple	<i>Malus spp.</i>	10.8	Good	Protected	PRSERV
83	Asian white birch	<i>Betula utilis</i>	2.8, 1.7, 1.3, 1.4	Good	Protected	REMOVE
84	Asian white birch	<i>Betula utilis</i>	4.2, 3.0, 3.3, 3.2	Good	Protected	REMOVE
85	Northern white cedar	<i>Thuya occidentalis</i>	3.8, 3.1, 8.6, 7.3, 5.5, 4.9, 4.5	Fair	Landmark	REMOVE
86	Northern white cedar	<i>Thuya occidentalis</i>	7.7, 7.7, 5.7, 4.5, 8.3	Fair	Landmark	REMOVE
87	Northern white cedar	<i>Thuya occidentalis</i>	6.2, 7.5, 7.4, 5.4, 5.4, 5.1, 5.7	Fair	Landmark	REMOVE
88	Northern white cedar	<i>Thuya occidentalis</i>	6.1, 4.9, 5.6	Fair	Landmark	REMOVE
89	Northern white cedar	<i>Thuya occidentalis</i>	19.5	Good	Protected	REMOVE
90	Honey locust	<i>Gleditsia triacanthos</i>	14.4	Good	Protected	REMOVE
91	Honey locust	<i>Gleditsia triacanthos</i>	8.7	Good	Protected	REMOVE
92	Honey locust	<i>Gleditsia triacanthos</i>	7.3	Good	Protected	REMOVE
93	Honey locust	<i>Gleditsia triacanthos</i>	7.3	Good	Protected	REMOVE
94	Honey locust	<i>Gleditsia triacanthos</i>	7.9	Good	Protected	REMOVE
95	Fin - oak	<i>Quercus palustris</i>	23.9	Good	Landmark	REMOVE
96	Northern white cedar	<i>Thuya occidentalis</i>	5.7, 5.5, 6.0	Good	Landmark	REMOVE
97	Common purple spruce	<i>Picea pungens</i>	7.6	Fair	Protected	PRSERV
98	Shagbark hickory	<i>Carya ovata</i>	21.0	Fair	Heritage	PRSERV
99	Fin - oak	<i>Quercus palustris</i>	23.1	Poor	Landmark	PRSERV
100	Shagbark hickory	<i>Carya ovata</i>	19.3	Fair	Heritage	PRSERV
101	Shagbark hickory	<i>Carya ovata</i>	18.3	Fair	Landmark	PRSERV
102	Shagbark hickory	<i>Carya ovata</i>	9.3	Fair	Landmark	PRSERV
103	Shagbark hickory	<i>Carya ovata</i>	11.4	Fair	Landmark	PRSERV
104	Shagbark hickory	<i>Carya ovata</i>	11.1	Fair	Protected	REMOVE
105	Northern hickory	<i>Carya occidentalis</i>	11.1	Fair	Protected	REMOVE
106	Bur oak	<i>Quercus macrocarpa</i>	15.2	Fair	Landmark	REMOVE
107	Honey locust	<i>Gleditsia triacanthos</i>	14.8	Good	Landmark	PRSERV
108	Bur oak	<i>Quercus macrocarpa</i>	17.6	Fair	Landmark	REMOVE
109	Eastern cattleya	<i>Populus deltoides</i>	11.4	Fair	Nuisance	REMOVE
110	Eastern cattleya	<i>Populus deltoides</i>	22.3	Fair	Nuisance	REMOVE

TREE INVENTORY - OFF SITE

Tag #	Common Name	Scientific Name	DBH	Condition	Category	Outcome
111	Eastern cattleya	<i>Populus deltoides</i>	45.0	Fair	Nuisance	ADROESS
112	Hybrid elm	<i>Ulmus hybrids</i>	10.1	Good	Protected	REMOVE
113	Hybrid elm	<i>Ulmus hybrids</i>	5.9	Poor	Protected	REMOVE
114	Hybrid elm	<i>Ulmus hybrids</i>	13.4	Good	Protected	REMOVE
115	American elm	<i>Ulmus americana</i>	40.7	Fair	Heritage	REMOVE
116	Hybrid elm	<i>Ulmus hybrids</i>	12.9	Fair	Protected	REMOVE
117	Hybrid elm	<i>Ulmus hybrids</i>	13.2	Good	Protected	REMOVE
118	Hybrid elm	<i>Ulmus hybrids</i>	14.9	Good	Protected	REMOVE
119	Hawthorn	<i>Crataegus spp.</i>	7.9	Fair	Protected	REMOVE
120	American basswood	<i>Tilia americana</i>	10.3, 11.9	Fair	Landmark	REMOVE
121	American basswood	<i>Tilia americana</i>	6.1	Poor	Protected	REMOVE
122	American basswood	<i>Tilia americana</i>	13.0	Fair	Landmark	REMOVE
123	American basswood	<i>Tilia americana</i>	12.0	Fair	Landmark	REMOVE
124	Hybrid elm	<i>Ulmus hybrids</i>	12.0	Fair	Protected	REMOVE
125	Hybrid elm	<i>Ulmus hybrids</i>	11.1	Good	Protected	REMOVE
126	Hawthorn	<i>Crataegus spp.</i>	10.3	Fair	Protected	REMOVE
127	American basswood	<i>Tilia americana</i>	12.9	Fair	Landmark	REMOVE
128	American basswood	<i>Tilia americana</i>	13.6, 8.9, 7.4, 5.4, 5.4	Fair	Landmark	ADROESS
129	Jack pine	<i>Pinus strobus</i>	10.0	Dead	Protected	REMOVE
130	Jack pine	<i>Pinus strobus</i>	8.3	Fair	Protected	REMOVE
131	Jack pine	<i>Pinus strobus</i>	10.0	Dead	Protected	REMOVE
132	Jack pine	<i>Pinus strobus</i>	8.8	Fair	Protected	REMOVE
133	Jack pine	<i>Pinus strobus</i>	7.8	Fair	Protected	REMOVE
134	Jack pine	<i>Pinus strobus</i>	9.1	Fair	Protected	REMOVE
135	Jack pine	<i>Pinus strobus</i>	10.0	Fair	Protected	REMOVE
136	Jack pine	<i>Pinus strobus</i>	10.0	Fair	Protected	REMOVE
137	Jack pine	<i>Pinus strobus</i>	7.5	Fair	Protected	REMOVE
138	Jack pine	<i>Pinus strobus</i>	7.8	Fair	Protected	REMOVE
139	Jack pine	<i>Pinus strobus</i>	11.2	Fair	Protected	REMOVE
140	Jack pine	<i>Pinus strobus</i>	7.7	Dead	Protected	REMOVE
141	Northern hickory	<i>Carya occidentalis</i>	18.1	Good	Protected	REMOVE
142	Jack pine	<i>Pinus strobus</i>	9.0	Fair	Protected	REMOVE
143	Jack pine	<i>Pinus strobus</i>	12.1	Fair	Protected	REMOVE
144	Silver maple	<i>Acer saccharinum</i>	12.6, 6.0, 3.9, 12	Fair	Protected	REMOVE
145	Norway maple	<i>Acer platanoides</i>	17.0	Good	Protected	ADROESS
146	Silver maple	<i>Acer saccharinum</i>	31.2	Fair	Protected	REMOVE
147	Siberian elm	<i>Ulmus pumila</i>	33.4	Dead	Nuisance	REMOVE
148	Siberian elm	<i>Ulmus pumila</i>	24.1	Fair	Protected	REMOVE
149	Blue spruce	<i>Picea pungens</i>	24.8	Fair	Protected	REMOVE
150	American elm	<i>Ulmus americana</i>	16.8	Fair	Protected	REMOVE
151	Norway maple	<i>Acer platanoides</i>	16.4	Fair	Protected	REMOVE
152	Norway maple	<i>Acer platanoides</i>	16.4	Poor	Protected	REMOVE
153	Boxelder	<i>Acer negundo</i>	15.6, 15.7	Fair	Protected	REMOVE
154	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
155	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
156	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
157	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
158	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
159	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
160	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
161	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
162	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
163	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
164	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
165	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
166	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
167	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
168	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
169	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
170	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
171	Boxelder	<i>Acer negundo</i>	12.0	Fair	Protected	REMOVE
172	Boxelder	<i>Acer negundo</i>				



**dickson design
STUDIO**
9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

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SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS	
1.	5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE
THE RESERVE AT THE BROOK

FINAL LANDSCAPE PLAN - SOUTH

SHEET NUMBER

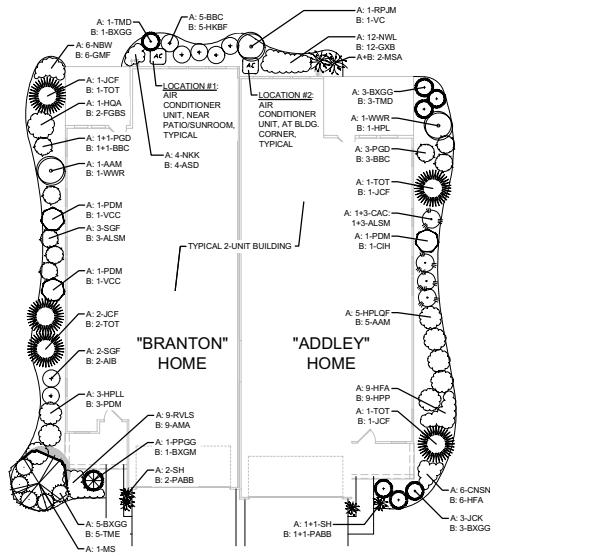
PLANT & MATERIALS LIST: FOUNDATIONS

2-UNIT BUILDING, ORIENTATION A

	CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 2 UNIT BUILDING, ORIENTATION "A" (SOUTH FACING FAÇADE)					
Evergreen Trees	JCF	3	8' high	<i>Juniperus chinensis 'Fairview'</i>	Fairview Chinese Juniper
	TOT	2	8' high	<i>Thuya occidentalis 'Techy'</i>	Mission Arborvitae
Ornamental Trees	MS	1	6' high	<i>Malus sargentii</i>	Sargent Flowering Crabapple
Evergreen Shrubs	BGCG	3	24" wide	<i>Buxus x 'Green Gem'</i>	Green Gem Boxwood
	JKX	5	3 Gal. 24"	<i>Juniperus chinensis 'Kalevy'</i>	Kalevy Compact Chinese Juniper
	PPGC	1	30" wide	<i>Pisus pubera 'Graeca Globosa'</i>	Globe Colorado Blue Spruce
	TMD	1	24" wide	<i>Taxus x media 'Densiformis'</i>	Dense Yew
Deciduous Shrubs	AAM	5	36" high	<i>Aronia melanocarpa 'Autumn Magic'</i>	Autumn Magic Black Chokeberry
	BBC	5	5 Gal. 24"	<i>Buddleia 'Blue Chip'</i>	Blue Chip Buddleia
	CAC	4	5 Gal. 24"	<i>Crataegus spicata</i>	Crataegus Spicata
	CGP	3	7 Gal. 36"	<i>Crataegus spicata 'Uva'</i>	Uva Crataegus
	HQA	1	7 Gal. 36"	<i>Hydrangea paniculata 'Alice'</i>	Alice Oakleaf Hydrangea
	HRCF	5	7 Gal. 36"	<i>Hydrangea paniculata 'Little Quick Fire'</i>	Little Quick Fire Hydrangea
	PGD	5	5 Gal. 24"	<i>Potentilla fruticosa 'Gold Drop'</i>	Gold Drop Potentilla
	PPM	3	36" wide	<i>Prunus x 'Autumnalis'</i>	Autumnalis Prunus
	RJPM	1	36" high	<i>Rhododendron 'P.J.M.'</i>	P.J.M. Rhododendron
	SGF	5	5 Gal. 24"	<i>Goldfame Spirea</i>	Goldfame Spirea
	VWV	5	5 Gal. 24"	<i>Spiraea bumalda 'Goldfame'</i>	Spiraea bumalda 'Goldfame'
Ornamental Grasses	MSA	2	3 Gal.	<i>Miscanthus sinensis 'Adagio'</i>	Adagio Dwarf Maiden Grass
	SH	4	1 Gal.	<i>Spodiopetalon heterolepis</i>	Prarie Dropseed
Perennials	CNSN	6	1 Gal.	<i>Calamagrostis nepetoides 'Acuta'</i>	Calamint
	HFA	1	1 Gal.	<i>Hista fortunei 'Aureomarginata'</i>	Aureomarginata Hosta
	NBW	9	1 Gal.	<i>Neopis tassensis 'Blue Wonder'</i>	Blue Wonder Camellia
	NRK	1	1 Gal.	<i>Primula 'Blue Cell'</i>	Blue Cell Camellia
	NWL	12	1 Gal.	<i>Neopis tassensis 'Walker's Low'</i>	Walker's Low Camellia
	RVLS	9	1 Gal.	<i>Rubus fruticosa var. speciosa</i>	Vietnam Little Suzy Black-Eyed Susan
Materials	-	2	C.Y.	-	Soil Amendments
	-	7	C.Y.	-	Shredded Hardwood Mulch

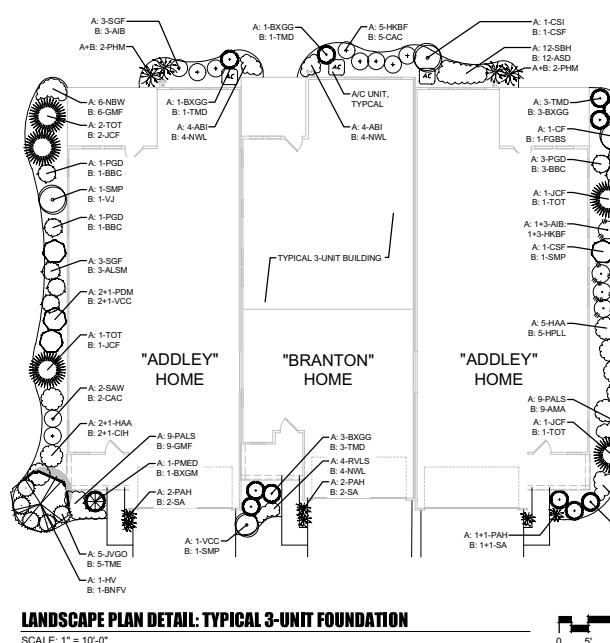
2-UNIT BUILDING, ORIENTATION B

	CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 2 UNIT BUILDING, ORIENTATION "B" (EAST FACING FAÇADE)					
Evergreen Trees	JCF	2	8' high	<i>Juniperus chinensis 'Fairview'</i>	Fairview Chinese Juniper
	TOT	3	8' high	<i>Thuya occidentalis 'Techy'</i>	Mission Arborvitae
Ornamental Trees	MC	1	6' high	<i>Malus x 'Cavendish'</i>	Cavendish Crab
Evergreen Shrubs	BGCG	4	24" wide	<i>Buxus x 'Green Gem'</i>	Green Gem Boxwood
	BGDM	1	42" wide	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood
	TMD	3	24" wide	<i>Taxus x media 'Densiformis'</i>	Dense Yew
	TME	6	24" wide	<i>Taxus x media 'Everlow'</i>	Everlow Yew
Deciduous Shrubs	AAM	9	36" high	<i>Aronia melanocarpa 'Autumn Magic'</i>	Autumn Magic Black Chokeberry
	AB	5	5 Gal. 24"	<i>Buddleia 'Blue Chip'</i>	Blue Chip Buddleia
	CAC	4	5 Gal. 24"	<i>Crataegus spicata</i>	Crataegus Spicata
	CGP	3	7 Gal. 36"	<i>Crataegus spicata 'Uva'</i>	Uva Crataegus
	HQA	1	7 Gal. 36"	<i>Hydrangea paniculata 'Alice'</i>	Alice Oakleaf Hydrangea
	HRCF	5	7 Gal. 36"	<i>Hydrangea paniculata 'Little Quick Fire'</i>	Little Quick Fire Hydrangea
	PGD	5	5 Gal. 24"	<i>Potentilla fruticosa 'Gold Drop'</i>	Gold Drop Potentilla
	PPM	3	36" wide	<i>Prunus x 'Autumnalis'</i>	Autumnalis Prunus
	RJPM	1	36" high	<i>Rhododendron 'P.J.M.'</i>	P.J.M. Rhododendron
	SGF	5	5 Gal. 24"	<i>Goldfame Spirea</i>	Goldfame Spirea
	VWV	5	5 Gal. 24"	<i>Spiraea bumalda 'Goldfame'</i>	Spiraea bumalda 'Goldfame'
Ornamental Grasses	MSA	2	3 Gal.	<i>Miscanthus sinensis 'Adagio'</i>	Adagio Dwarf Maiden Grass
	SH	4	1 Gal.	<i>Spodiopetalon heterolepis</i>	Prarie Dropseed
Perennials	CNSN	6	1 Gal.	<i>Calamagrostis nepetoides 'Acuta'</i>	Calamint
	HFA	1	1 Gal.	<i>Hista fortunei 'Aureomarginata'</i>	Aureomarginata Hosta
	NBW	9	1 Gal.	<i>Neopis tassensis 'Blue Wonder'</i>	Blue Wonder Camellia
	NRK	1	1 Gal.	<i>Primula 'Blue Cell'</i>	Blue Cell Camellia
	NWL	12	1 Gal.	<i>Neopis tassensis 'Walker's Low'</i>	Walker's Low Camellia
	RVLS	9	1 Gal.	<i>Rubus fruticosa var. speciosa</i>	Vietnam Little Suzy Black-Eyed Susan
Materials	-	2	C.Y.	-	Soil Amendments
	-	7	C.Y.	-	Shredded Hardwood Mulch



LANDSCAPE PLAN DETAIL: TYPICAL 2-UNIT FOUNDATION

SCALE: 1" = 10'-0" 0 5' 10' 20'
NOTE: FOUNDATION PLANTINGS MAY BE ADJUSTED BASED ON FINAL UNIT MIXES AND UTILITY LOCATIONS



LANDSCAPE PLAN DETAIL: TYPICAL 3-UNIT FOUNDATION

SCALE: 1" = 10'-0" 0 5' 10' 20'
NOTE: FOUNDATION PLANTINGS MAY BE ADJUSTED BASED ON FINAL UNIT MIXES AND UTILITY LOCATIONS



CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1. 5/21/25 PER STAFF COMMENTS
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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- DETAILS: 2 & 3 UNIT
TYPICAL FOUNDATIONS

HEET NUMBER

L2.4

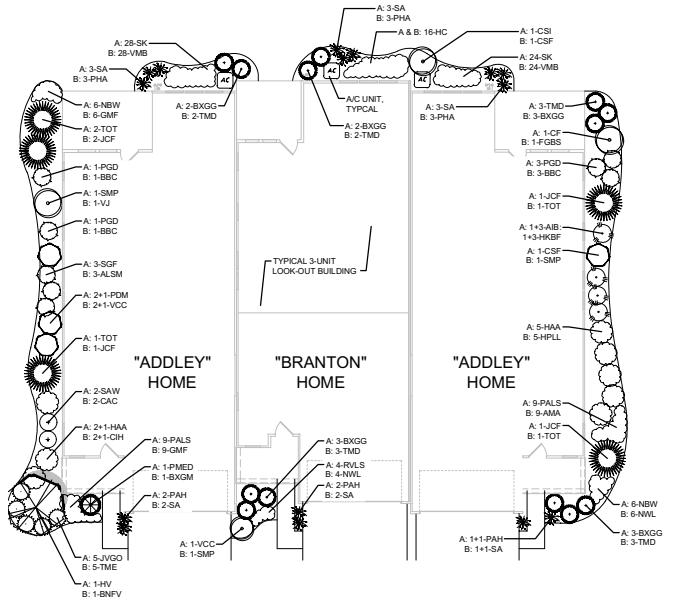
PLANT & MATERIALS LIST: FOUNDATIONS

3-UNIT LOOK-OUT BUILDING, ORIENTATION A

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 3 UNIT LO BLDG, ORIENTATION A (WEST & SOUTH FACING FAÇADE)				
Evergreen Trees				
JCF	2	8' high	<i>Juniperus chinensis 'Fairview'</i>	Fairview Chinese Juniper
TOT	3	8' high	<i>Thuya occidentalis 'Techny'</i>	Mission Arborvitae
HV				
Evergreen Shrubs				
BXGG	10	24" wide	<i>Buxus x Green Garf</i>	Green Garf Boxwood
JVDO	5	24" wide	<i>Juniperus virginiana 'Grey Owl'</i>	Grey Owl Red Cedar
PMD	1	30" wide	<i>Pinus mugo var. 'Tina'</i>	Eric Dwarf Mugo Pine
TMD	3	24" wide	<i>Taxus x media 'Denseforms'</i>	Dense Yew
Dedcuous Shrubs				
4	5 Gal/24"		<i>Aronia melanocarpa 'Trooper Beauty'</i>	Aronia Beauty Black Chokeberry
CF	1	54" high	<i>Carycina fusca</i>	Sweet Shrub
CSF	1	36" high	<i>Corus sericea 'Pleurex'</i>	Yellowdog Dogwood
CSI	1	36" high	<i>Corus sericea 'Island Frost'</i>	Island Redwing Dogwood
HAA	6	7' high	<i>Osmanthus heterophyllus 'Kew Standard'</i>	Japanese Hydrangea
PGD	5	5 Gal/24"	<i>Potentilla fruticosa 'Gold Drop'</i>	Gold Drop Potentilla
PDW	3	36" high	<i>Physocarpus opulifolius 'Diana May'</i>	Little Devil Common Ninebark
SAW	2	5 Gal/24"	<i>Spiraea bumalda 'Anthony Waterer'</i>	Anthony Waterer Spirea
SCD	3	5 Gal/24"	<i>Spiraea bumalda 'Goldfinch'</i>	Double Gold Spirea
SMP	1	4'	<i>Syringa meyeri 'Palibin'</i>	Dwarf Korean Lilac
VCD	1	7 Gal/30"	<i>Vitex agnus-castus 'Compactum'</i>	Dwarf Kousa Viburnum
Ornamental Grasses				
SH	6	1 Gal	<i>Perennia stipaceoides 'Harmeln'</i>	Dwarf Fountain Grass
SA	9	1 Gal	<i>Sesleria autumnalis</i>	Autumn Moor Grass
Perennials/Groundcovers				
HC	16	1 Gal	<i>Heuchera 'Caramel'</i>	Caramel Coral Bells
PALS	18	1 Gal	<i>Perovskia atriplicifolia 'Little Blue Spike'</i>	Little Blue Perennial Sage
NWL	12	1 Gal	<i>Nepeta faassenii 'Blue Wonder'</i>	Blue Wonder Catmint
PWLS	4	1 Gal	<i>Rubus fruticosa var. 'speciosa'</i>	Mrs. Linde Lucy Black-Eyed Susan
SK	52	3" pots	<i>Sedum kamtschaticum</i>	Stone Crop Sedum
Materials	-	3	C.Y.	-
	-	9	C.Y.	-
				Soil Amendments
				Shredded Hardwood Mulch

3-UNIT LOOK-OUT BUILDING, ORIENTATION B

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
FOUNDATION LANDSCAPE - 3 UNIT LO BLDG, ORIENTATION B (NORTH & EAST FACING FAÇADE)				
Evergreen Trees				
JCF	3	8' high	<i>Juniperus chinensis 'Fairview'</i>	Fairview Chinese Juniper
TOT	2	8' high	<i>Thuya occidentalis 'Techny'</i>	Mission Arborvitae
Ornamental Trees				
HV				
Evergreen Shrubs				
BXGG	3	24" wide	<i>Buxus x Green Garf</i>	Green Garf Boxwood
BXGM	1	42" wide	<i>Buxus x Green Mountain</i>	Green Mountain Boxwood
TMD	10	24" wide	<i>Taxus x media 'Denseforms'</i>	Dense Yew
TME	5	24" wide	<i>Taxus x media 'Everlow'</i>	Everlow Yew
Dedcuous Shrubs				
ASB	3	5 Gal/24"	<i>Aronia melanocarpa 'Low Scope'</i>	Low Scope Mound Black Chokeberry
BBC	5	5 Gal/24"	<i>Buddleia 'Blue Chip'</i>	Lo & Behold Buddleia
CAC	2	5 Gal	<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster
CH	3	38" high	<i>Corus alba 'Variegata'</i>	Ivory Hall Redwing Dogwood
CSF	1	38" high	<i>Ostrya virginiana 'Variegata'</i>	Variegated Hop hornbeam
FGBS	1	30" high	<i>Fothergilla gardenii 'Blue Shadow'</i>	Blue Shadow Dwarf Fothergilla
HKB	4	5 Gal/24"	<i>Hydrangea kalmianum 'Blue Festival'</i>	Blue Festival St. John's Wort
HPLL	5	7 Gal/30"	<i>Hydrangea paniculata 'Jane'</i>	Little Lime Hydrangea
SH	2	5 Gal/24"	<i>Spiraea 'Meyeri'</i>	Dwarf Japanese Spirea
SCD	3	7 Gal/30"	<i>Vaccinium vitis-idaea 'Compactum'</i>	Dwarf Kinnikinnick
VCC	1	38" high	<i>Vaccinium vitis-idaea 'Compactum'</i>	Dwarf Kinnikinnick Viburnum
VJ	1	38" high	<i>Viburnum x juddii</i>	Judd Viburnum
Ornamental Grasses				
PASH	9	1 Gal	<i>Penisetium stipaceoides 'Harmeln'</i>	Dwarf Fountain Grass
SA	6	1 Gal	<i>Sesleria autumnalis</i>	Autumn Moor Grass
Perennials/Groundcovers				
AMA	9	1 Gal	<i>Athemum mollis 'Auslese'</i>	Austrian Lady's Mantle
GWF	15	1 Gal	<i>Gentianum luteum 'Max Frei'</i>	Max Frei Gentian
HC	16	1 Gal	<i>Heuchera 'Caramel'</i>	Caramel Coral Bells
NWL	10	1 Gal	<i>Nepeta faassenii 'Walker's Low'</i>	Walker's Low Catmint
VMB	52	3" pots	<i>Vinca minor 'Bowles'</i>	Bowles Periwinkle
Materials	-	3	C.Y.	-
	-	9	C.Y.	-
				Soil Amendments
				Shredded Hardwood Mulch



LANDSCAPE PLAN DETAIL: TYPICAL 3-UNIT LOOK-OUT FOUNDATION

SCALE: 1" = 10'-0"

NOTE! FOUNDATION PLANTINGS MAY BE ADJUSTED BASED ON FINAL UNIT MIXES AND UTILITY LOCATIONS



CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

PLAN DATE

APRIL 18, 2025

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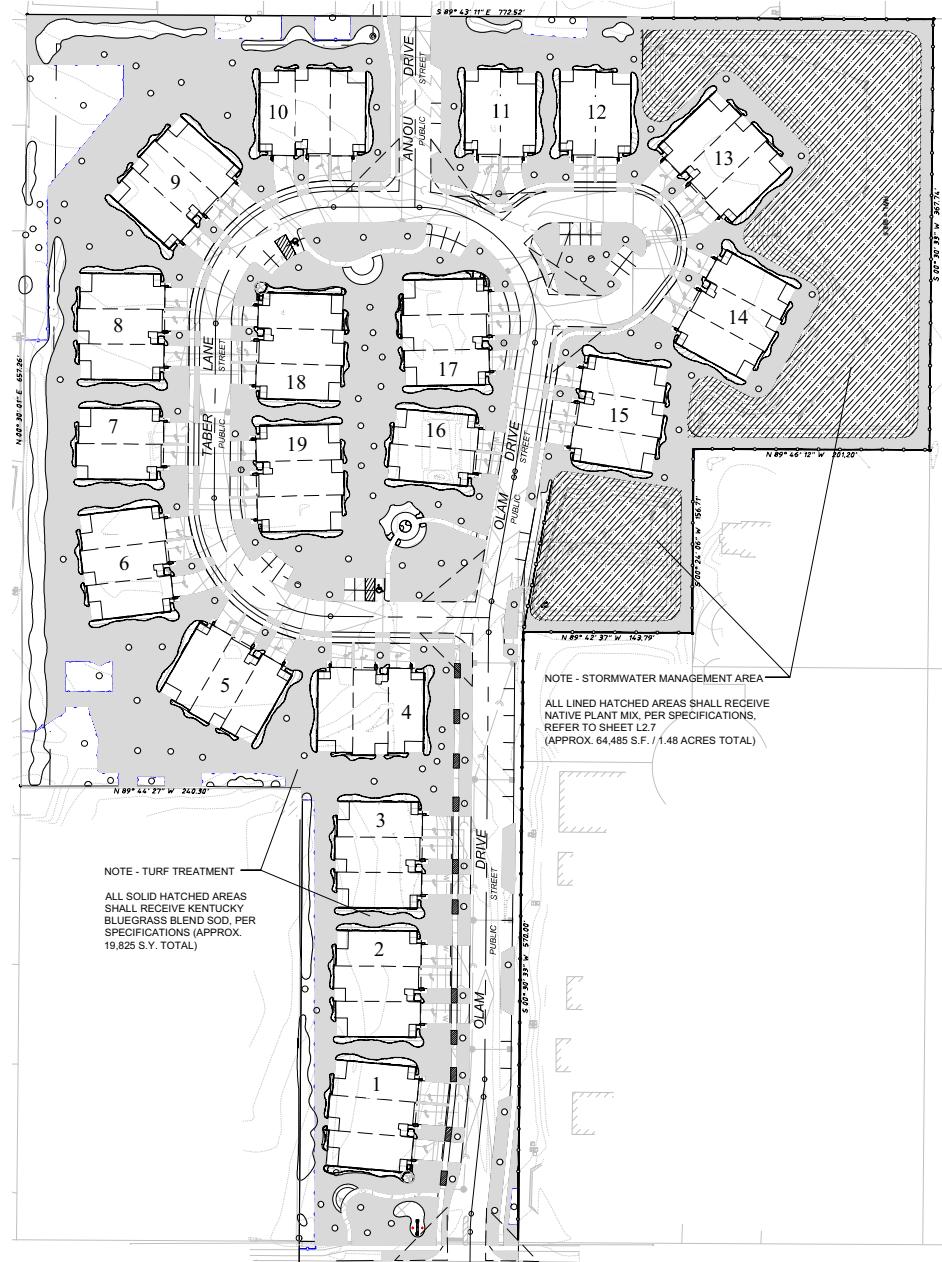
PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- DETAILS: LOOK-OUT UNITS
TYPICAL FOUNDATIONS

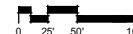
SHEET NUMBER

12.5



AYOUT PLAN: TURF & STORMWATER AREAS

SCALE: 1" = 50'-0"



**dickson design
STUDIO**

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS
VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

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PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- TURF & STORMWATER AREAS

SHEET NUMBER

I2.6

STORMWATER MANAGEMENT AREAS (DETENTION BASINS)

PLANT & MATERIALS LIST

Botanical Name	Common Name	Qty/Acre	lbs/Acre
<i>Gramineae, Sedges, and Rushes</i>			
<i>Ambrosia graminifolia</i>	Big bluestem	40.0	
<i>Bromus cyprius</i>	Sideoats grama	24.0	
<i>Carex brevior</i>	Shortspike sedge	8.0	
<i>Chasmanthium latifolium</i>	Northern sea oats	89.0	
<i>Panicum virgatum</i>	Switchgrass	16.0	
<i>Stipa capillata</i>	Indian grass	16.0	
Total: Grasses, Sedges, and Rushes		184.0	11.50
<i>Forbs</i>			
<i>Ageratum conyzoides</i>	Common milkweed	16.0	
<i>Bryonia alba</i>	Ruff tassel master	8.0	
<i>Calochortus nuttallii</i>	Or-eo sunflower	12.0	
<i>Monarda fistulosa</i>	Wild bergamot	2.0	
<i>Penstemon digitalis</i>	Mountain penstemon	12.0	
<i>Oenothera biennis</i>	Red-flowered evening primrose	1.0	
<i>Oenothera lindheimeri</i>	Stiff goldenrod	2.0	
<i>Penstemon digitalis</i>	Fragrant beard tongue	1.0	
<i>Physocarpus virginicus</i>	Bladderdock	2.0	
<i>Polygonatum multiflorum</i>	Skinleaf mountain mint	0.5	
<i>Abutilon theophrasti</i>	Black-eyed Susan	2.0	
<i>Abutilon theophrasti</i>	Sweet coneflower	2.0	
<i>Symplocarpus foetidissima</i>	New England aster	2.0	
<i>Tradescantia virginiana</i>	Ohio spiderwort	12.0	
<i>Veronica fasciculata</i>	Ironweed	2.0	
<i>Veronica virginicum</i>	Culver's root	0.5	
<i>Zizia aurea</i>	Golden alexanders	8.0	
Total Forbs		85.0	5.31
TOTAL: Grasses, Sedges, and Forbs		269.0	16.81
Temporary Cover Crop			
<i>Elymus canadensis</i>	Canada wild rye	40.0	2.5
<i>Avena sativa</i>	Common oats	320.0	20

NOTES: INSTALLATION OF NATIVE PLANTINGS

CONTRACTOR QUALIFICATIONS: ALL WORK SHALL BE PERFORMED BY A NATURAL AREAS CONTRACTOR WITH AT LEAST SEVEN (7) YEARS OF DOCUMENTED EXPERIENCE IN PLANTING OF NATIVE SPECIES, NATURAL AREAS MANAGEMENT, MONITORING, AND REPORTING FOR THE PURPOSES OF ECOLOGICAL RESTORATION.

SITE PREPARATION:

SOIL: PRIOR TO PLANTING, SPREAD A MINIMUM OF EIGHT INCHES (8") UP TO TWELVE INCHES (12") DEPTH OF QUALITY TOPSOIL WITHIN THE BOTTOM OF EACH BASIN AND FOR ALL BASIN SIDE SLOPES. TOP SOIL SHALL CONTAIN A MINIMUM OF 4% ORGANIC MATERIAL AS DOCUMENTED BY THE SOIL TESTING LAB. THE SOIL SHALL BE TESTED BY A CONVENTIONAL SOIL TESTER AND ALL GRADES AFTER SOIL PLACEMENT AND FOR THE ENGINEERING PLANS. NO ROCKS, SOIL, CLODS, OR OTHER DEBRIS IN EXCESS OF TWO INCHES (2") IN ANY DIMENSION SHALL BE ALLOWED.

WATER LEVEL: ENSURE THAT ALL RESTRICTORS, FILTERS, OR OTHER TEMPORARY STORMWATER SYSTEM MODIFICATIONS IMPLEMENTED DURING CONSTRUCTION HAVE BEEN REMOVED AND THAT WATER LEVELS ARE AT THE DESIRED LEVEL FOR PLANTING. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE WATER LEVEL. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AS NEEDED PRIOR TO SEEDING/PLANTING.

HERBACEOUS CLEARING: IF ANY VEGETATION HAS BECOME ESTABLISHED IN THE BASIN PRIOR TO SEEDING/PLANTING, APPLY A NON-SELECTIVE SYSTEMIC HERBICIDE WITH LOW RESIDUAL PROPERTIES APPROXIMATELY TWO (2) WEEKS BEFORE SEEDPLANT INSTALLATION. HERBICIDE APPLICATIONS IN OR ADJACENT TO SHORELINES OR OPEN WATER SHALL UTILIZE AN HERBICIDE APPROVED FOR AQUATIC USE, RESIDES ANY BONDED, LIQUID, OR GELS FROM THE SITE PRIOR TO SEED INSTALLATION. SCARIFY GROUND TO ENSURE GOOD SEED-TO-ROCK CONTACT.

SEEDING & PLANTING:

MAXIMUM QUANTITY OF SEED MATERIAL SHALL BE PURCHASED FROM SOURCES SPECIALIZING IN NATIVE SPECIES AND LOCATED WITHIN 200 MILES OF THE PROJECT SITE.

SEED: ALL NATIVE SEED SHALL BE PROVIDED ON A PURSE-LIVE SEED (PLS) BASIS. ACTUAL SEED AMOUNTS USED ON THE PROJECT WILL VARY WITH THE ACTUAL PERCENT (PLS) IN THE SEED LOT. SEED CONTAINING NOXIOUS WEEDS IS NOT ACCEPTABLE. SEED CONTAINING WEED SEED IN EXCESS OF 0.5% IS NOT ACCEPTABLE. "BEARDED" FORB SPECIES (EX. ASTER, SOLIDAGO, LATRIS, ETC.) SHALL BE REMOVED FROM THE SEED LOT. SEED THAT HAS BEEN STORED FOR LONG PERIODS OF TIME OR SEED THAT HAS BECOME WET (UNLESS AS A RESULT OF STRATIFICATION), MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE IS NOT ACCEPTABLE. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY UPON SEEDING COMPLETION.

TIMING & MAINTENANCE - SEEDING: (SPRING) MARCH 1ST - JUNE 15TH AND (FALL) SEPTEMBER 15TH - OCTOBER 1ST. BEGIN MAINTENANCE AND MONITORING ACTIVITIES IMMEDIATELY AFTER SEEDING AND CONTINUE FOR THREE (3) FULL GROWING SEASONS.

NOTES: MANAGEMENT OF NATIVE PLANTINGS (DETENTION BASINS)

PART 1. GENERAL

1.1. DESCRIPTION

A. THIS SECTION INCLUDES THE PREFERRED MANAGEMENT SCHEDULE AND PERFORMANCE STANDARDS FOR ALL NATIVE PLANT COMMUNITIES FOR THREE YEARS FOLLOWING INITIAL INSTALLATION (EVEN THOUGH THE AREAS SHALL BE MAINTAINED IN PERPETUITY).

1.2. RELATED SECTIONS

A. NATIVE SEEDING, NATIVE HERBACEOUS PERENNIAL PLANTING

1.3. QUALITY ASSURANCE

A. QUALIFICATIONS OF WORKERS: PROVIDE AT LEAST ONE PERSON WHO SHALL BE PROVIDED AT ALL TIMES TO OVERSEE PLANTING ACTIVITIES. THIS PERSON WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE AND OPERATION OF EQUIPMENT BE USED. SAID PERSON SHALL DIRECT ALL WORK PERFORMANCE UNDER THIS SECTION.

B. SPECIFICATIONS: PROVIDE SPECIFICATIONS FOR PLANTING DURING THE COURSE OF THE WORK SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL LAWS AND REGULATIONS. THE USE OF ANY HERBICIDE SHALL FOLLOW DIRECTIONS GIVEN ON THE HERBICIDE LABEL. IN THE CASE OF A DISCREPANCY BETWEEN THESE SPECIFICATIONS AND THE HERBICIDE LABEL, THE LABEL SHALL PREDOMINATE.

1.4. SUBMITTALS

A. MATERIALS: THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A COMPREHENSIVE LIST OF MATERIALS TO BE USED DURING THE COURSE OF THE WORK PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE. THIS SUBMITTAL SHALL BE INCORPORATED AS PERMITTED SUBSTITUTION FOR SPECIFIED ITEMS OR SPECIFICATIONS IN THESE SPECIFICATIONS UNLESS APPROVED IN WRITING BY THE OWNER.

B. LICENSES: PRIOR TO ANY HERBICIDE USE, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A COPY OF THE CONTRACTOR'S STATE AND FEDERAL PESTICIDE, APPRICATOR/OPERATOR'S LICENSE, WITH CERTIFICATION IN THE APPROPRIATE CATEGORIES. FOR EACH PERSON WHO WILL BE APPLYING HERBICIDE AT THE PROJECT SITE, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A COPY OF THE CONTRACTOR'S LICENSE MUST BE AVAILABLE AT ALL TIMES DURING COMPLETION OF THE WORK.

C. EQUIPMENT: THE CONTRACTOR SHALL PROVIDE A LIST OF EQUIPMENT AND DESCRIPTIONS OF THE EQUIPMENT, THE INTENDED USE, AND A LIST OF S&P PERSONS PERFORMING THE WORK AND THEIR QUALIFICATIONS FOR OPERATING AND MAINTAINING THE LISTED EQUIPMENT.

D. PERIODIC BURN: COMMENCEMENT OF ANY CONTROLLED BURNING, THE OWNER SHALL SECURE APPLICABLE PERMITS.

E. AFTER THE WORK IS COMPLETED, SUBMIT TO THE OWNER AN ANNUAL REPORT SUMMARIZING MANAGEMENT ACTIVITIES/PERFORMANCE STANDARD ASSESSMENTS COMPLETED DURING THE PAST CALENDAR YEAR BY THE CONTRACTOR.

PART 2. PRODUCTS

2.1. MATERIALS

A. CONTRACTOR TO FURNISH APPROPRIATE HERBICIDES FOR VARIOUS APPLICATION NEEDS (POLAR, BASAL, GRASS-SPECIFIC, AREAS IN SATURATED SOILS, AND/OR AQUATIC) TO CONTROL UNWANTED VEGETATION FOLLOWING ALL LABEL APPLICATION PROCEDURES.

PART 3. EXECUTION

3.1. MAINTENANCE WATERING

A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF PLANT MATERIAL.

B. WATER ALL HERBACEOUS PERENNIAL PLANTS TWICE A WEEK WITH FINE SPRAY AT A MINIMUM RATE OF 1 INCH PER WEEK AFTER PLANTING UNLESS RAINFALL PRECIPITATION IS ADEQUATE UNTIL PLANT ESTABLISHMENT, LIKELY THE ENTIRE FIRST GROWING SEASON.

C. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WATERING UNTIL FINAL ACCEPTANCE.

3.2. METHOD - HERBICIDE APPLICATION

A. CONTRACTOR SHALL ERADICATE INVASIVE HERBACEOUS SPECIES PER SECTION: SEEDING TO MEET THE GUARANTEE IN THE PERFORMANCE STANDARDS.

B. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT NATIVE SPECIES AND AVOID DAMAGE TO THEM. THE CONTRACTOR SHALL NOT USE HERBICIDE AS DESCRIBED IN THIS SECTION. THE CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED OR DISTURBED BY THE WORK ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.

C. A SURGE OF CHEMICAL ABSORBENT SHALL BE MAINTAINED AT THE PROJECT SITE. ANY CHEMICALS USED SHALL BE PROPERLY CLEANED UP AND RETURNED TO THE OWNER WITHIN 4 HOURS.

D. THE CONTRACTOR SHALL MAINTAIN COPIES AT THE PROJECT SITE OF ALL CURRENT PESTICIDE/APPLICATOR'S LICENSE, HERBICIDE LABELS, AND MSDS (MATERIAL SAFETY DATA SHEETS) FOR ALL CHEMICALS UTILIZED DURING COMPLETION OF THE WORK.

E. HERBICIDE SHALL BE MIXED AND PLACED IN CONTAINERS NOT FROM AERIAL AND GROUND SPRAYERS. HERBICIDE SHALL NOT BE USED ON GROWTH, PBR, OR BODY OF WATER. HERBICIDES SHALL NOT BE TRANSFERRED TO THE WORK AREA IN ANY CONTAINER OTHER THAN THAT USED FOR APPLICATION.

3.3. METHOD - MOWING

A. THE CONTRACTOR SHALL MAINTAIN ALL PLANT COMMUNITIES TO A HEIGHT OF 8" AFTER VEGETATION OF SAD AREAS REACHES A HEIGHT OF 16-24" AND BEFORE NON-NATIVE SPECIES GROWTH. MOWING SHALL BE CONDUCTED IN THE SPRING AND SUMMER SEASONS. ADDITIONAL SPOT MOWING MAY BE NEEDED IN THE SECOND AND/OR THIRD GROWING SEASON AS DETERMINED BY THE OWNER'S CONSULTING ECOLOGIST.

B. MOWING SHOULD BE DONE IN THE PARTS OF THE SITE WHERE MOWING IS REQUIRED OR WHERE DISPERSAL RATES ARE DEPOSITED IN DENSE MATS WHICH SMOTHER VEGETATION, OR THE CLIPPINGS/BRANCHES SHOULD BE REMOVED FROM THE MOVED AREA.

3.4. METHOD - PRESCRIBED BURNING

A. PRESCRIBED BURNING SHALL BE THE PRIMARY METHOD FOR LONG-TERM ECOLOGICAL MANAGEMENT. AN APPROVED BURN PLAN OR BURN SCHEDULE SHALL BE PROVIDED IN THE FIFTH (NOVEMBER-DECEMBER) OF THE THIRD YEAR FOLLOWING INITIAL PLANTING OR SPRING (MID MARCH-APRIL) OF THE FORTY FOURTH YEAR FOLLOWING PLANTING. BURNING SHOULD BE CONDUCTED BY AN ENTITY EXPERTISE IN PRESCRIBED BURNING AND PERMIT APPROVAL AS WELL AS IN BURN MANAGEMENT.

B. PRIOR TO THE COMMENCEMENT OF PRESCRIBED BURNING:

1. THE OWNER OR CONTRACTOR SHALL COMPILE A BURN PLAN THAT OUTLINES A PLAN OF ACTION, IDENTIFIES CONCERNED AGENCIES (FIRE DEPARTMENT, POLICE, ETC.), PROPER NOTICE OF INTENT TO BURN SHALL BE GIVEN.

2. CONTRACTOR TO PROVIDE RESIDENT NOTIFICATIONS AS DIRECTED BY THE OWNER. CONTRACTOR SHALL PROVIDE A BURN PLAN AND BURN SCHEDULE FOR APPROVAL (CONTACT BY PHONE, IN PERSON, OR DELIVERY OF A BROCHURE OR WRITTEN NOTICE VIA MAIL OR EMAIL) SHALL BE DOCUMENTED ON THE PRESCRIBED BURN PLAN.

C. THE OWNER SHALL APPLY FOR AND RECEIVE ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF PRESCRIBED BURNING.

D. ALL MEMBERS OF PRESCRIBED BURN CREW SHALL HAVE THE FOLLOWING CERTIFICATIONS:

1. NWCG 5130 and \$190, OR EQUIVALENT.

E. ILLINOIS CERTIFIED PRESCRIBED BURN MANAGER TO BE ON SITE DURING ALL BURNING ACTIVITIES.

3.5. CLEAN-UP, REMOVAL, AND REPAIR

A. NO TIME SHALL EMPTY HERBICIDE CONTAINERS, TRASH, OR OTHER MATERIAL BE ALLOWED TO ACCUMULATE AT THE PROJECT SITE. ALL CLEANING OF HERBICIDE CONTAINERS AND OTHER MATERIALS SHALL BE CONDUCTED IN AN APPROPRIATE, UNLISTED, SURROUNDING AREA. ALL TOOLS SHALL BE KEPT IN APPROPRIATE CARRYING CASES, TOOLBOXES, ETC. PARKING AREAS, ROADS, SIDEWALKS, PATHS AND PAVED AREAS SHALL BE KEPT CLEAN AND FREE OF DEBRIS.

B. REMOVAL: AFTER WORK HAS BEEN COMPLETED REMOVE TOOLS, EMPTY CONTAINERS, AND ALL OTHER DEBRIS GENERATED BY THE CONTRACTOR.

C. REPAIR: REPAIR ANY DAMAGES CAUSED BY THE CONTRACTOR DURING COMPLETION THE WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, TIRE RIPS IN THE GROUND, DAMAGE TO PLANTED AREAS, DAMAGE TO TRAILS, SMOKE AND/OR FIRE DAMAGE TO TREES, ETC. THE CONTRACTOR SHALL BE LIABLE FOR REMEDIAL COSTS FOR ANY DAMAGES CAUSED BY THE CONTRACTOR TO THE PROPERTY OF THE OWNER CAUSED BY CONTRACTOR NEGLIGENCE DURING COMPLETION OF THE WORK.

D. REPLANTING: CASES OF PLANTING FAILURE WILL NEED TO BE REPLANTED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF PLANTING AND REPAIRS TO THE PROPERTY OF THE OWNER FOR FAILURE. REPLANTING (IF NOT DUE TO VANDALISM OR REASONS NOT IDENTIFIED IN THE SITE WORK PLANTING SPECIFICATIONS) SHALL BE DONE BY THE CONTRACTOR AS PART OF THE CONTRACTOR'S PERFORMANCE STANDARDS. CONTRACTOR SHALL BE PAID BY THE OWNER FOR THE COST OF PLANTING AND REPAIRS TO THE PROPERTY OF THE OWNER CAUSED BY CONTRACTOR NEGLIGENCE DURING COMPLETION OF THE CONSTRUCTION.

E. CLEAN-UP: THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR AT ALL TIMES.

F. REPORTING: THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A REPORT OF THE WORK PERFORMED DURING THE COMPLETION OF THE CONTRACTOR'S WORK.

G. INSPECTION: AT THE REQUEST OF THE OWNER, THE CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH THE OWNER TO REVIEW THE WORK COMPLETED BY THE CONTRACTOR PURSUANT TO THIS SECTION.

H. ACCEPTANCE AND GUARANTEES (PERFORMANCE STANDARDS)

A. FINAL ACCEPTANCE: MANAGEMENT SHALL BE CONSIDERED 100% COMPLETE AFTER THE CONTRACTOR HAS COMPLETED ALL PARTS OF THIS SECTION AND MEETS ALL GUARANTEES AND PERFORMANCE STANDARDS FOR SECTION: NATIVE SEEDING AND NATIVE HERBACEOUS PERENNIAL PLANTING.

B. PERFORMANCE STANDARDS SHALL BE ASSESSED AND REPORTED ON FOR THREE GROWING SEASONS FOLLOWING PROTOCOL BELOW:

MONITORING

1. TWICE ANNUAL MONITORING OF ALL PLANT COMMUNITIES SHALL BE CONDUCTED FOR ALL THREE FULL GROWING SEASONS FOLLOWING INITIAL IMPLEMENTATION.

2. THE ANNUAL SITE VISIT EACH YEAR SHALL BE CONDUCTED BETWEEN MAY 1 AND SEPTEMBER 30.

3. EACH VISIT SHALL BE CONDUCTED BY A QUALIFIED PROFESSIONAL WITH ADEQUATE PLANT KNOWLEDGE AND EXPERIENCE. THE CONTRACTOR SHALL PROVIDE INFORMATION REGARDING MANAGEMENT OF NATIVE PLANT COMMUNITIES. THE SITE INSPECTOR SHALL COLLABORATE OVER THE NEEDED MAINTENANCE REQUIREMENTS FOR ALL PLANT COMMUNITIES AND THE MAINTENANCE CONTRACTOR.

4. THE VEGETATION MONITORING SHALL BE CONDUCTED USING THE MANDER SEARCH METHOD TO IDENTIFY:

a. DOMINANT VEGETATION (NATIVE VS. NON-NATIVE) WITHIN EACH PLANT COMMUNITY.

b. THE APPROXIMATE PERCENT VEGETATIVE COVERAGE BY NATIVE AND NON-NATIVE SPECIES WITHIN EACH PLANT COMMUNITY.

c. A SPECIFIC PLANT LIST FOR EACH PLANT COMMUNITY THAT CAN BE COMPARED TO THE PLANT LIST PROVIDED BY THE CONTRACTOR.

d. TO MAKE RECOMMENDATIONS RELATED TO SITE MANAGEMENT TO MEET PERFORMANCE STANDARDS.

5. REPRESENTATIVE PHOTOGRAPHS OF THE RESTORED NATIVE PLANT COMMUNITIES SHALL BE TAKEN TO DOCUMENT THE SITE CONDITIONS THROUGH TIME.

REPORTING

A. A BRIEF MEAD REPORT SHALL BE PREPARED AND SUBMITTED TO THE OWNER AFTER EACH SITE INSPECTION.

B. THE REPORT SHALL IDENTIFY MANAGEMENT RECOMMENDATIONS AND SERVICES THAT HAVE BEEN CONDUCTED THROUGHOUT THE GROWING SEASON AND OUTLINE FUTURE MANAGEMENT REQUIREMENTS.

C. THE REPORT FOR THE YEAR SHALL INCLUDE A SECTION THAT ADDRESSES THE REQUIRED PERFORMANCE STANDARDS INCLUDED IN THE PLANSPECIFICATIONS.

D. SITE PHOTOGRAPHS SHALL BE INCLUDED IN THE REPORT TO DOCUMENT THE SITE CONDITIONS.

SUMMARY OF GUARANTEES (PERFORMANCE STANDARDS) IS INCLUDED BELOW:

SECTION: SEEDING (PERFORMANCE STANDARDS)

• THE CONTRACTOR SHALL GUARANTEE SEEDED AND/OR PLANTED AREAS WILL MEET THE REQUIREMENTS OF THE PLANSPECIFICATIONS FOR THE FIRST THREE YEARS AFTER PROVISIONAL ACCEPTANCE: 80% TOTAL (AERIAL) PLANT COVER AND AT LEAST 70% RELATIVE COVER BY SEEDED AND/OR PLANTED NATIVE SPECIES IN EACH PLANT COMMUNITY. OPPORTUNISTIC INVASIVE/NON-NATIVE SHRUBS AND TREES SHALL NOT EXCEED 0% OF ANY PLANT COMMUNITY.

SECTION: HERBACEOUS PERENNIAL PLANTING (PERFORMANCE STANDARDS)

• THE CONTRACTOR SHALL GUARANTEE PLANTED AREAS WILL MEET THE REQUIREMENTS OF THE PLANSPECIFICATIONS FOR THE FIRST THREE YEARS AFTER PROVISIONAL ACCEPTANCE: 90% SURVIVORSHIP OF ALL HERBACEOUS PLANTS. IF MORE THAN 10% OF THE PLANTS DO NOT SURVIVE AFTER ONE YEAR, THE CONTRACTOR SHALL RETURN TO THE SITE AND REPLANT LOST PLANTS AS SPECIFIED BY THE OWNER AND/OR TO MEET THE PERFORMANCE STANDARD.

PERFORMANCE STANDARDS

1. 5/21/25 PER STAFF COMMENTS

2.

3.

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10.

PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 BUNDE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- STORMWATER AREAS

SHED NUMBER

L2.7

Prepared by:

INDIGO ECOLOGICAL DESIGN

VENTURE 1OLB, LLC

9 CRYSTAL LAKE ROAD

SUITE 110

LAKE IN THE HILLS, IL 60156

(224) 241-8181

CLIENT NAME AND ADDRESS

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1.

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SPECIFICATIONS & DETAILS: SITE FEATURES

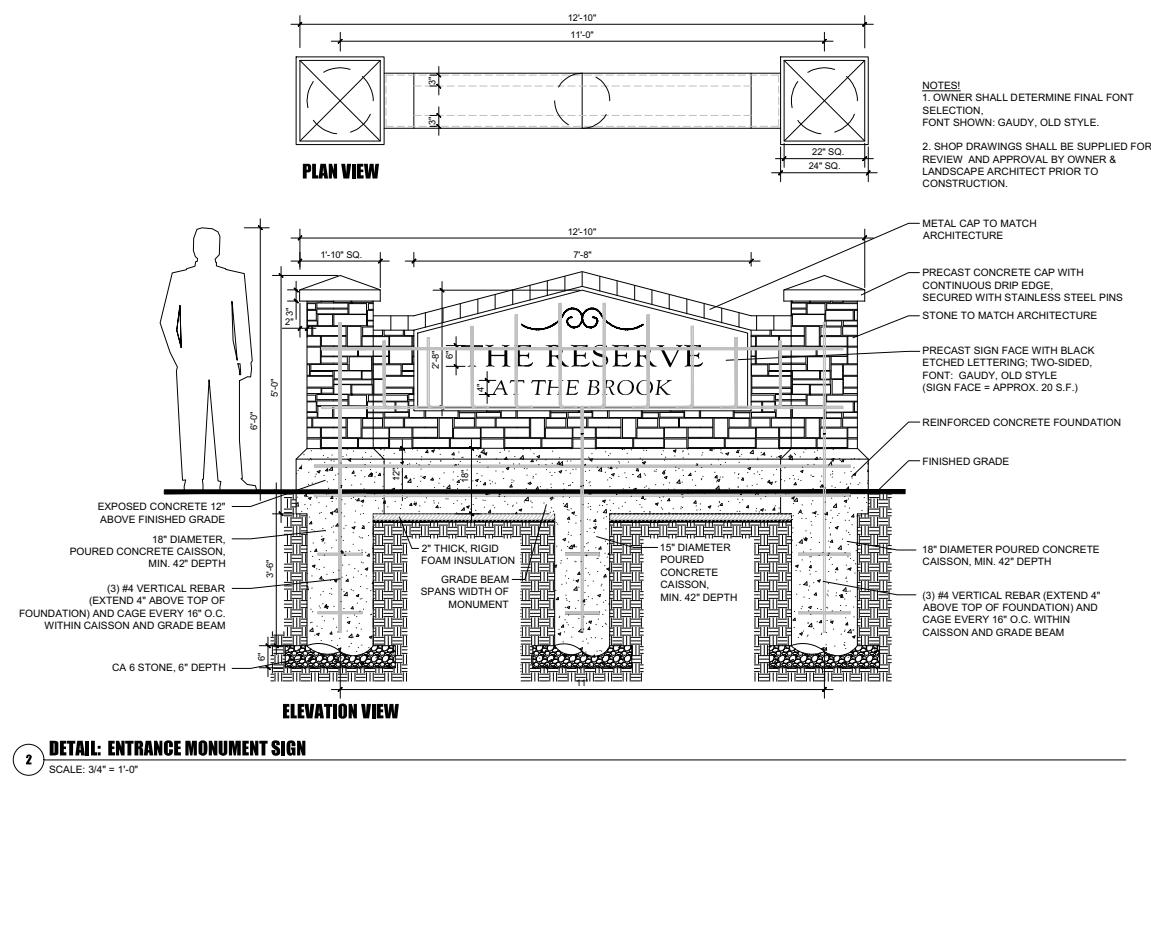


SPECIFICATION: SEATING BENCH

1 NOT TO SCALE

SHALL BE:

- QUANTITY: 5
- NAME: DUMOR
- MODEL: 140.6' (SURFACE-MOUNT)
- MATERIAL: POWDER-COATED STEEL
- COLOR: BLACK
- INSTALL: PER MANUFACTURER'S SPECIFICATIONS
- AVAILABLE THRU (OR APPROVED EQUAL):
NUTOYS LEISURE PRODUCTS
LA GRANGE, IL
CONTACT:
RICK BIETERMAN @ TEL (708) 579-9055



dickson design

STUDIO

9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241-8181

CLIENT NAME AND ADDRESS
VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1. 5/21/25 PER STAFF COMMENTS
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.

PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

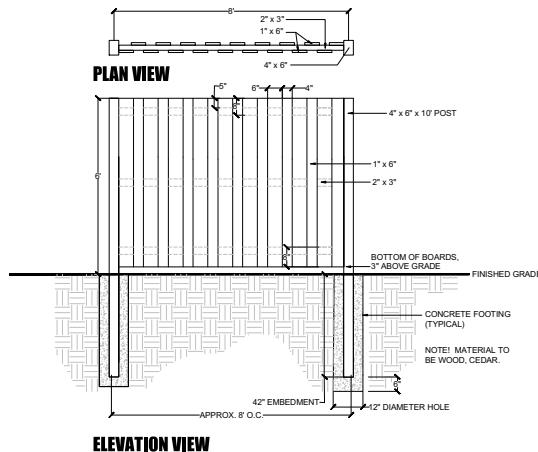
FINAL LANDSCAPE PLAN

- SPECIFICATIONS & DETAILS
(SITE FEATURES)

SHEET NUMBER

L3.1

SPECIFICATIONS & DETAILS: FENCING



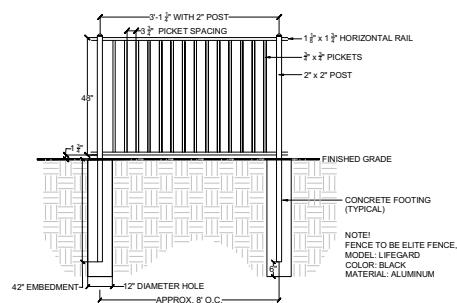
ELEVATION VIEW

1 DETAIL: PRIVACY FENCE

SCALE: 1/2" = 1'-0"

LOCATION: PRIVACY FENCE ALONG NORTHEAST & EAST BORDERS

NOTE: PRIVACY FENCE LOCATION INDICATED ON SHEETS L2.1 AND L2.2. WHERE EXISTING TREES TO BE PRESERVED FALL WITHIN THE LOCATION OF THE PROPOSED FENCE, THE FENCE SHALL BE FIELD LOCATED TO JOG AROUND THE TREE TRUNK. IF NO AREA IS AVAILABLE ON-SITE, A GAP IN THE FENCE IS ACCEPTABLE. NO POSTS SHALL BE DUG WITHIN 3 FEET OF ANY EXISTING TREE TRUNK.



ELEVATION VIEW

2 DETAIL: PRIVACY FENCE TRANSITION

SCALE: 1/2" = 1'-0"

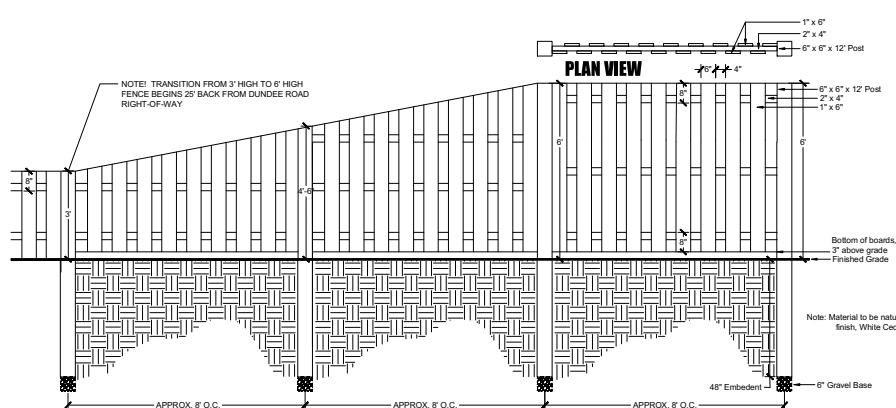
LOCATION: PRIVACY FENCE AT SOUTHEAST PROPERTY CORNER (3' HIGH FENCE TRANSITIONS TO A 6' HIGH FENCE)

ELEVATION VIEW

3 DETAIL: SAFETY FENCE

SCALE: 1/2" = 1'-0"

LOCATION: SAFETY FENCE LOCATED WEST OF CENTRAL DETENTION BASIN



ELEVATION VIEW



dickson design

STUDIO

9 CRYSTAL LAKE ROAD

SUITE 110

LAKE IN THE HILLS, IL 60156

(224) 241-8181

CLIENT NAME AND ADDRESS

VENTURE 1 OLB, LLC

SKOKIE, ILLINOIS & CHICAGO, ILLINOIS

PLAN DATE

APRIL 18, 2025

REVISIONS

1. 5/21/25 PER STAFF COMMENTS
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.

PROJECT NAME AND SHEET TITLE

THE RESERVE AT THE BROOK
3700 DUNDEE ROAD - NORTHBROOK, IL

FINAL LANDSCAPE PLAN
- SPECIFICATIONS & DETAILS
(FENCING)

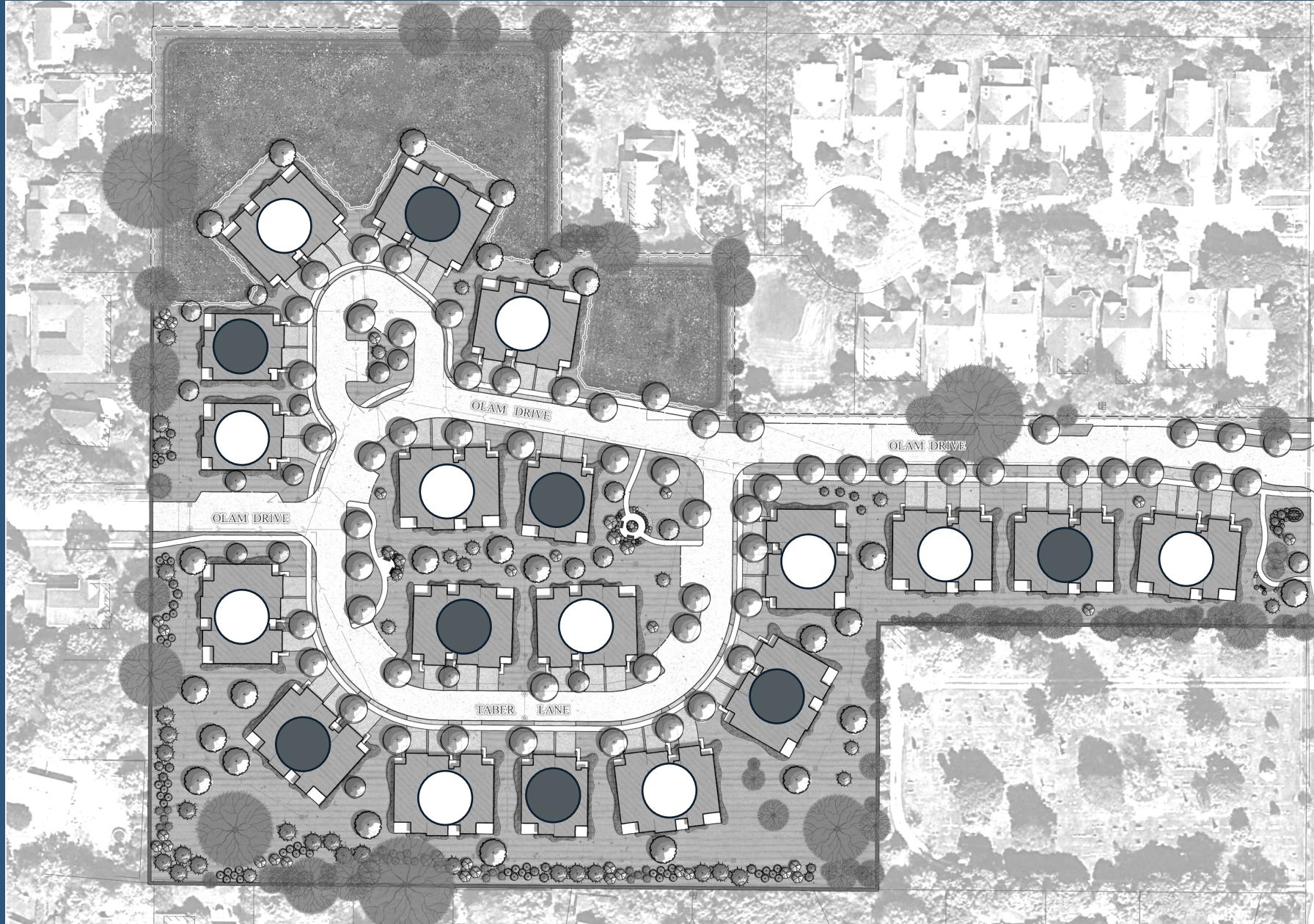
SHEET NUMBER

L3.2









“A”
“B”



ARCHITECTURE – COLOR COLLECTIONS

THE RESERVE AT THE BROOK

June 13, 2025



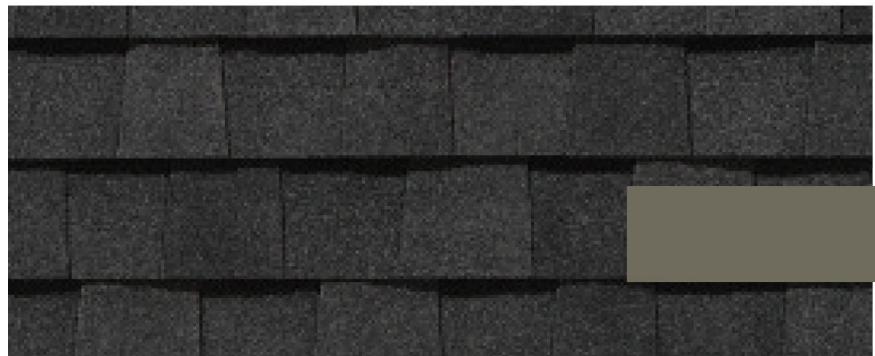
Exterior Color Collections

Illinois Division

April 1, 2024
Hardie Siding - White Trim
Matching

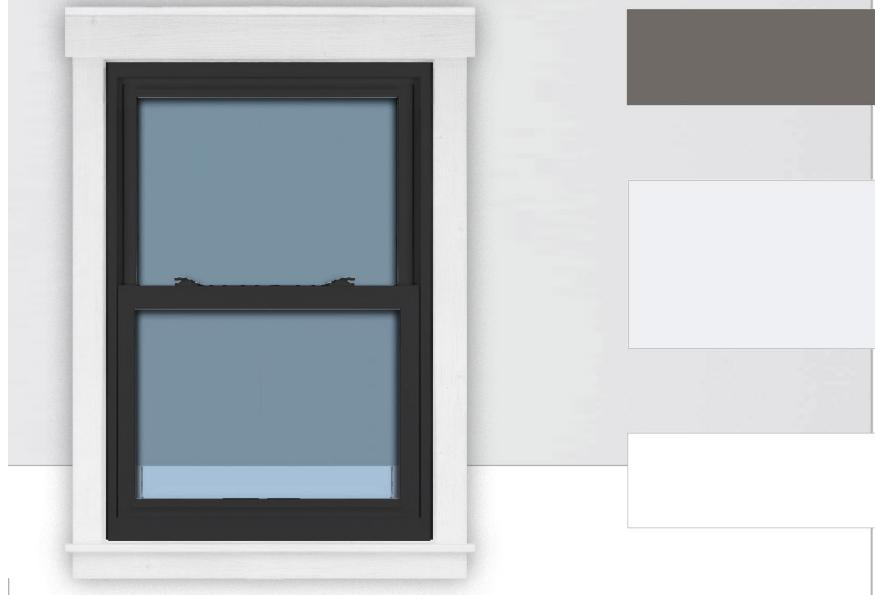
HW-111-W-M

Shingle Roofing
CertainTeed
Architectural
Moire Black



Metal Roof
Mastic Metals
Terra Bronze

Horizontal /
Board & Batten /
Shake Siding
Arctic White



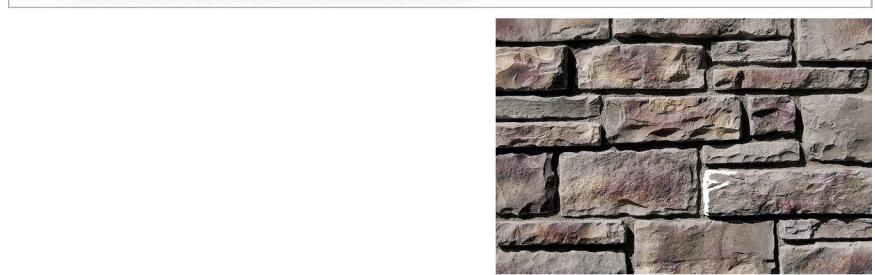
Entry Door
Folkstone
SW 6005

Windows
Black



Garage Doors
CloPay
White

Trim
Arctic White



Gutters & Fascia
Arctic White

Manufactured Stone
Coronado Stone
Country Rubble



Color selections created by:
Main Street Designs of Georgia, LLC
www.MainStreetDesignsLLC.com

Please Note: Colors are reproduced using printing inks, not actual paint. Always select colors from the manufacturer's color card for best representation of actual color. Colors may vary slightly in actual use due to area, sheen, surface, applications or lighting.



Exterior Color Collections

Illinois Division

April 1, 2024
Hardie Siding - White Trim
Matching

HW-108-W-M

Shingle Roofing
CertainTeed
Architectural
Pewter



Horizontal /
Board & Batten /
Shake Siding
Pearl Gray

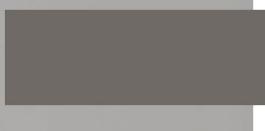


Windows
Black

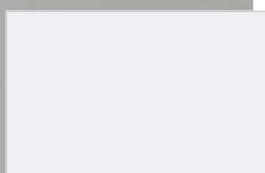


Trim
Arctic White

Metal Roof
Mastic Metals
Terra Bronze



Entry Door
Folkstone
SW 6005



Garage Doors
CloPay
White



Gutters & Fascia
Arctic White



Manufactured Stone
Coronado Stone
Country Rubble



Color selections created by:
Main Street Designs of Georgia, LLC
www.MainStreetDesignsLLC.com

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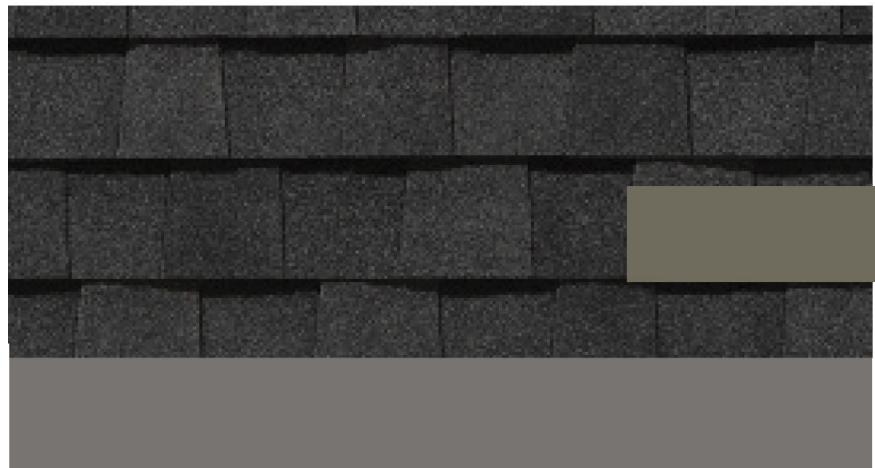
Exterior Color Collections

Illinois Division

April 1, 2024
Hardie Siding - White Trim
Matching

HW-126-W-M
(Premium)

Shingle Roofing
CertainTeed
Architectural
Moire Black



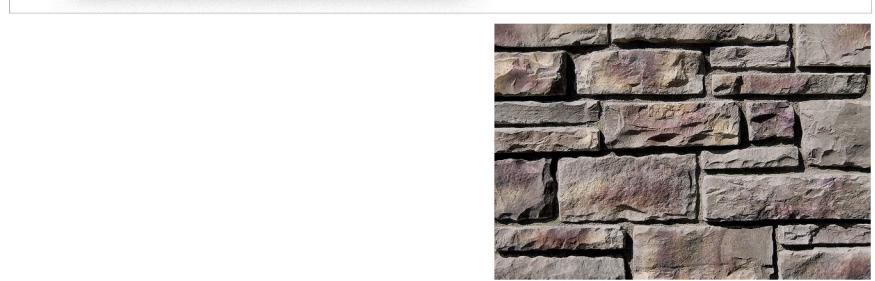
Horizontal /
Board & Batten /
Shake Siding
Aged Pewter



Windows
Black



Trim
Arctic White



Metal Roof
Mastic Metals
Terra Bronze

Entry Door
Tricorn Black
SW 6258

Garage Doors
CloPay
White

Gutters & Fascia
Arctic White

Manufactured Stone
Coronado Stone
Country Rubble



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Exterior Color Collections

Illinois Division

April 1, 2024
Hardie Siding - White Trim
Matching

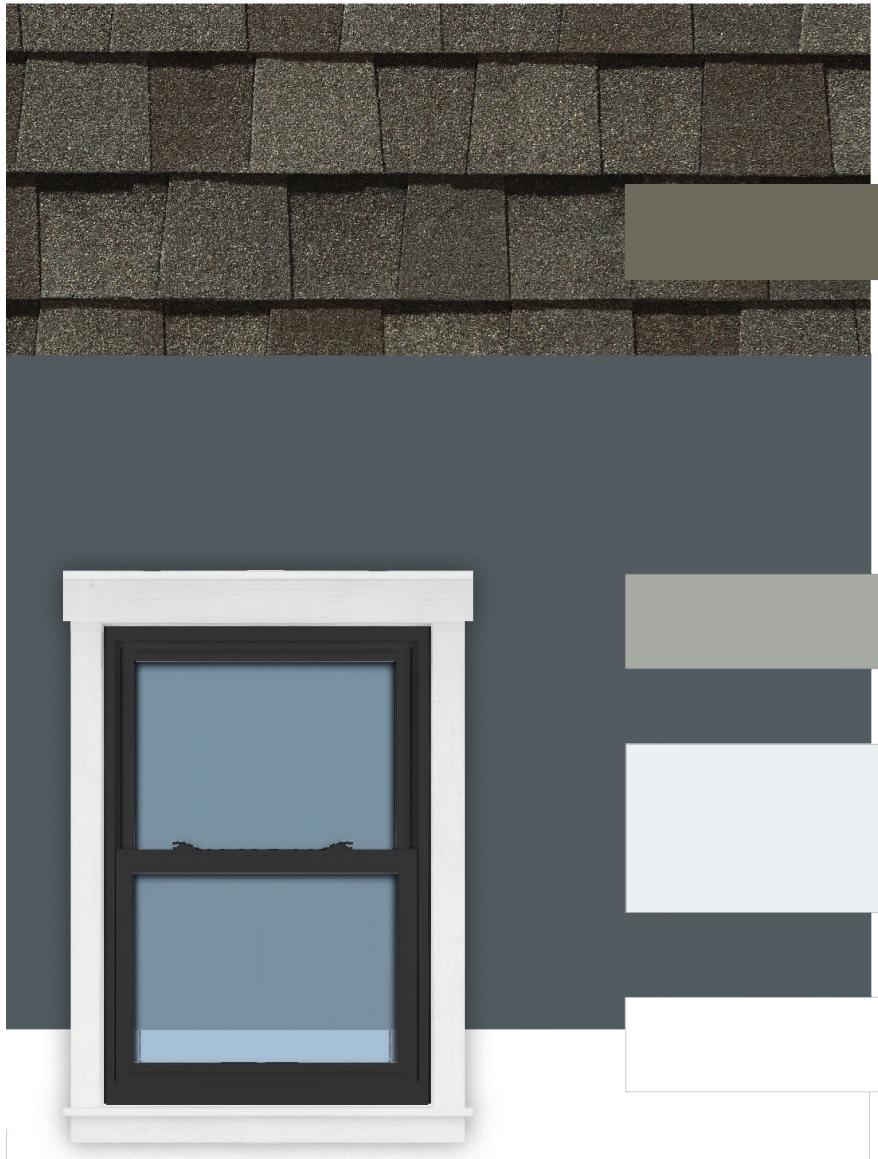
HW-144-W-M
(Premium)

Shingle Roofing
CertainTeed
Architectural
Weathered Wood

Horizontal /
Board & Batten /
Shake Siding
Evening Blue

Windows
Black

Trim
Arctic White



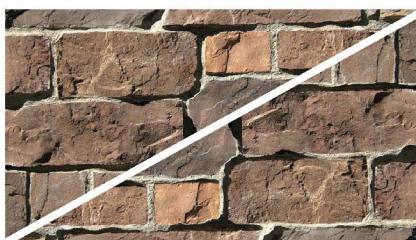
Metal Roof
Mastic Metals
Terra Bronze

Entry Door
Gray Matters
SW7066

Garage Doors
CloPay
White

Gutters & Fascia
Arctic White

Manufactured Stone
Coronado Stone
Tuscan Villa



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Supplement(s)

APPROVED
RESOLUTION NO. 25-PC-10
VILLAGE OF NORTHBROOK PLAN COMMISSION

DOCKET NO. PCD-25-06
(3700 DUNDEE ROAD – THE RESERVE AT THE BROOK)

WHEREAS, an application has been filed by Venture 1 OLB, LLC (the “Applicant”) as contract purchaser of the property commonly known as 3700 Dundee Road (the “Subject Property”), and which is owned by The Catholic Bishop of Chicago, a corporation sole (the “Owner”), and

WHEREAS, the Applicant desires to develop the Subject Property as a 53-unit townhome planned development (“*Planned Development*”); and

WHEREAS, 3700 Dundee Road is designated as appropriate for Multi-Family up to 6 DUA uses in the Village of Northbrook Comprehensive Plan; and

WHEREAS, the Multi Family Residential Up To 6 Dwelling Units Per Acre (MF-6) land use designation is “...intended to provide areas for two-family dwelling units and townhomes at a density no greater than 6 units per acre. The MF-6 classification is intended to preserve the character of these lower density two-family dwelling unit and townhome areas and to allow the continued development of these areas”; and

WHEREAS, the Applicant previously submitted Docket No. PCD-24-13 which was reviewed by the Plan Commission and which the Commission adopted Plan Commission Resolution No. 25-PC-03 recommending approval of a zoning map amendment for the Subject Property (changing the zoning from IB to R-6), as well as special permit, subdivision variations, and concept plan/tentative plat approval of a proposed **53-unit townhome development**; and

WHEREAS, on April 8, 2025, the Board of Trustees approved Docket No. PCD-24-13, including a development concept plan for the Planned Development on the Subject Property, through the adoption of the following ordinances and resolution:

- 1) Ordinance No. 2025-24: An Ordinance Amending the Comprehensive Plan of the Village of Northbrook;
- 2) Ordinance No. 2025-25: An Ordinance Rezoning the property at 3700 Dundee Road and Amending the District Zoning Map;
- 3) Ordinance No. 2025-26: An Ordinance Granting a Special Permit for a Residential Planned Development;
- 4) Resolution No. 2025-R-45: A Resolution Approving a Development Concept Plan, a Tentative Plat of Subdivision, and Providing Conceptual Development Approvals

WHEREAS, the Applicant has applied for Final Development Plan and Final Plat of Subdivision approval for the Development in a manner consistent with a previously approved concept plan for the Subject Property; and

Resolution No. 25-PC-10
Docket No. PCD-25-06 – 3700 Dundee Road

WHEREAS, at the June 17, 2025, Plan Commission meeting, the Commission reviewed the 53-unit townhome Planned Development Final Plan and Final Plat application and determined that it complies with the Village of Northbrook Zoning Code, Village of Northbrook Subdivision and Development Code, and the approved Planned Development Concept Plan, and

WHEREAS, the Plan Commission has considered all the evidence presented to it, including, but not limited to, all testimony and written materials from the Applicant and members of the general public concerning this matter, including:

1. Village of Northbrook Plan Commission Application form & attachments received April 22, 2025, and all subsequent additions and revisions to these application materials and attachments.
2. All staff reports and attachments regarding this application.
3. All written and oral testimony concerning the application.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Northbrook, Cook County, Illinois, THAT:

1. Findings:

- A. Final Plan Compliance with Concept Plan. With respect to Docket No. PCD-25-06, the Plan Commission finds that the proposed final plan for the Planned Development is in substantial conformity with the approved concept plan for the Planned Development per the standards established in Subparagraph 11-603 D4(f)(2) of the Zoning Code.
- B. Final Plat in Compliance with Tentative Plat. With respect to Docket No. PCD-25-06, the Plan Commission finds that the proposed final plat of subdivision is in substantial compliance with the approved tentative plat of subdivision and satisfies the criteria established in the Village of Northbrook Subdivision and Development Code for approval of a final plat in the R-6 Multiple Family Residential District.

2. Recommendations: The Northbrook Plan Commission does hereby recommend to the President and Board of Trustees of the Village of Northbrook **approval** of Docket No. PCD-25-06 based on the findings established herein, subject to the following conditions:

- A. Final Plan Approval. The Final Development Plan for the Subject Property, consisting of the following plans should be approved:
 - 1) Final Engineering Plans, prepared by Haeger Engineering, with most recent revision date of May 22, 2025.
 - 2) Final Landscape Plans, Dickson Design Studio, with most recent revision date of May 21, 2025;
 - 3) Building Elevation Plans, Pulte Group Design, with most recent revision date of February 10, 2025.

- B. Final Plat Approval. The Final Plat of Subdivision prepared by prepared by Haeger Engineering, with most recent revision date of May 22, 2025, should be approved.

3. Conditions: The relief recommended above should be conditioned upon the satisfaction of the following recommended conditions:

- A. Compliance with all Village Codes & Regulations. The proposed Development shall be required to meet all Village codes and regulations, including but not limited to the Zoning Code, the

Resolution No. 25-PC-10
Docket No. PCD-25-06 – 3700 Dundee Road

Village of Northbrook Subdivision and Development Code (1988), as amended, the Standards and Specifications for Public and Private Improvements Manual (2023), as amended, and all building, fire, and life-safety code requirements.

- B. Final Plan Approval. Prior to final plan approval of the Development by the Board of Trustees, the Director of Development and Planning Services and the Village Engineer must approve the documents in a form such that they are ready for Board of Trustees approval.
- C. Development Agreement. Prior to final plan approval of the Development by the Board of Trustees, the Village Attorney shall prepare a development agreement outlining the sequencing of the construction of necessary public and private improvements (including stormwater management measures), the obligation to pay all applicable school, park and library impact fees and the posting of all requisite performance guarantees for the development of the Subject Property as proposed. Such agreement shall be approved by the Board of Trustees and recorded prior to the commencement of construction on the Subject Property.
- D. Affordable Housing Covenant. Prior to final plan approval of the Development by the Board of Trustees, the Village Attorney shall prepare an Affordable Housing Covenant stating compliance with the requirements of Part III of Article IX of the Zoning Code, entitled “Affordable Housing in New Developments”, which is to be recorded with the Cook County Clerk’s Office.
- E. Declaration and Covenants. Building permits for the Subject Property shall not be granted until the declaration and covenants for the Subject Property have been approved by the Village Attorney and recorded with the Cook County Clerk’s Office.

ADOPTED THIS 17th day of June 2025.

AYES: (5) Braiman, DeBartolo, Karavitis, Morgen, Elisco

NAYS: (0)

ABSENT: (4) Halperin, Melnick, Sandler, Walden

ABSTAIN: (0)

/s/ Steven Elisco
Steven Elisco, Chairman
Northbrook Plan Commission

ATTEST:

/s/ Amy McEwan
Amy McEwan, Director
Development and Planning Services