

## Article 10. General Development Standards

- 10-101. General Provisions
- 10-102. Off-Street Vehicle Parking
- 10-103. Off-Street Loading
- 10-104. Off-Street Bicycle Parking
- 10-105. On-Site Pedestrian Walkways
- 10-106. Landscape
- 10-107. Screening
- 10-108. Fence, Wall, and Berm Standards
- 10-109. Outdoor Lighting
- 10-110. Sight Triangles

---

### 10-101. General Provisions

---

- A. **Purpose.** The purpose of this Article shall be detailed in the general provisions subsection of Sections 10-102-10-110.
- B. **Applicability.** The standards of this Article shall apply as detailed below and in the applicability tables included at the beginning of each Section of this Article.
  - 1. **New Development.** New development shall meet all standards of this Article. New development shall include:
    - a. Development proposed after the demolition of existing buildings and site elements;
    - b. All nonresidential and mixed-use development, including subdivisions;
    - c. Any residential subdivision that results in five or more lots; and
    - d. Any residential development that results in five or more dwelling units.
  - 2. **Redevelopment.** The standards of this Article shall apply to redevelopment depending on the scale of redevelopment activity, as outlined in subsections a-d below. If redevelopment activity meets the qualifications of multiple categories, the more restrictive category standards shall apply.
    - a. **Major Redevelopment.** Includes 50 percent or more increase in gross floor area, building value, dwelling units, disturbed area, or impervious surface area.

- b. **Intermediate Redevelopment.** Includes 25 percent or more up to less than 50 percent increase in gross floor area, dwelling units, disturbed areas, or impervious surface area; or an increase in building height.
- c. **Minor Redevelopment.** Includes any exterior changes to buildings or changes to required site elements not meeting the thresholds of other development categories.
- d. **Change of Use.** Includes changing from one use category to another use category.

## 10-102. Off-Street Vehicle Parking

### A. General Provisions.

- 1. **Purpose.** The purpose of the Off-Street Vehicle Parking requirements is to ensure sufficient, but not excessive parking is provided to balance demand for on-street parking and minimize negative environmental and aesthetic impacts of parking areas on the Village.
- 2. **Applicability.** The off-street vehicle parking standards established in this section shall apply as detailed in Table 10-102-A.

Table 10-102-A: Off-Street Vehicle Parking Standards Applicability Overview						
<p>Key:</p> <p>● = Standards apply to entire development site</p> <p>○ = Standards apply to portion of site or building(s) impacted by development activity</p> <p>Blank = Standards do not apply</p>		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
Standard	Reference					
Vehicle Parking Area Locations	10-102-B	●	●	●		
Vehicle Parking Area Design and Maintenance	10-102-C	●	○	○	○	
Required Vehicle Parking	10-102-D	●	●	●	●	●
Allowed Adjustments to Vehicle Parking Standards	10-102-F	●	●	●	●	●

- B. **Allowed Vehicle Parking Area Locations.** Except as provided in Section 10-102-C below, parking spaces required by this Section shall be located on the same lot as the use to which they are accessory.

### C. Vehicle Parking Area Design and Maintenance.

- 1. **Access to Street.**
  - a. All parking areas and structures shall be so located and designed as to provide access to adjacent public streets with the least interference with through traffic movements.
  - b. Driveways serving single family and duplex dwellings and driveways providing direct access from a parking area or parking structure to a public street, and not serving as a

- circulation aisle in connection with any parking space, may encroach into any required yard.
- c. The surface area of any driveway giving access from a parking lot or parking structure that encroaches into any required front or corner side yard shall not exceed 40 percent of the area between the principal building and street right of way.
  - d. No curb cut across public property shall exceed 40 feet in width without the written approval of the Village Manager.
  - e. No driveway shall be provided through a zoning district other than the district in which the parking area or structure is located except across a permanent, recorded access easement in form and substance satisfactory to the Village Attorney.
2. **Turnaround and Back Up Area.**
- a. **Turnaround Area.** Every parking area, garage, or structure, other than a parking area or garage accessory to a single-family dwelling, shall be provided with a turnaround area or other means to permit cars to exit the parking area, garage, or structure without backing onto any street or sidewalk.
  - b. **Back-up Area.** Each parking space, except spaces accessory to a single-family dwelling, shall be provided with a sufficient back-up area to permit egress in one (1) maneuver, consisting of one (1) backward and one (1) forward movement.
3. **Slope.** No portion of any parking area or structure, excluding access ramps, shall have a slope greater than five percent. No ramp shall have a slope in excess of eight percent.
- a. **Waiver Authorized.** Notwithstanding any other provision of this Section, the Board of Trustees may issue a waiver to increase the slope of a ramp within a parking lot or garage following receipt of an application for such a waiver and a public hearing considering such application as set forth in Subsection (F)(4) below.
  - b. **Public Hearing Required.** Any application pursuant to this Subsection shall be considered at a public hearing scheduled, noticed, and conducted in accordance with Section 2-103 of this Code. Whenever any other application is filed pursuant to this Code or the Subdivision Code as a companion to an application for waiver under this Subsection (F)(4), and the relief requested in such application otherwise requires a Plan Commission hearing, the public hearing on the application for a waiver under this Subsection (F)(4) shall be conducted by the Plan Commission. If the application for a waiver under this Subsection (F)(4) is submitted without any companion requests which require a Plan Commission hearing, the public hearing shall be conducted by the Board of Trustees.
4. **Car Stops.** As determined necessary by the Village Manager, parking areas and parking structures, except those accessory to a single family dwelling, shall be bordered by a six inch high concrete curb and shall be provided with curbs, car wheel stops, guard rails, barrier

fences or other suitable devices designed and located to protect required screening devices, landscaping, structures and other vehicles from damage by vehicles using such lot or garage.

5. **Space and Circulation Aisle Dimensions.** Each off-street parking space, excluding its associated circulation aisle, shall have the following minimum dimensions, in feet. The requirements of this section shall not apply to motor vehicle dealers with open sales lots, who may provide required parking spaces without direct access to a circulation aisle.

**Table 10-102-C: Parking Space and Circulation Aisle Dimensional Requirements**

Parking Angle (Degrees)	Space Width [1]	Space Depth	Aisle Width (2-Way)	Aisle Width (1-Way)	Depth of Interlocking Spaces	Overhang [2]
0	9'	22'	18'	12'	n/a	1'0"
45	9'	20' [3]	18'	12'	28.25'	1'6"
60	9'	20' [3]	18'	16'	32'	1'9"
90	9'	20' [3]	24'	22'	36'	2'0"
<b>Notes</b>						
[1] The Village Manager may approve narrower space width when sustainability measures including but not limited to permeable pavement, rain gardens, supplemental site landscaping above the requirements of Section 10-106 are provided on-site.						
[2] Overhang shall be required when parking space abuts a pedestrian walkway or sidewalk only.						
[3] Parking spaces that terminate onto a landscape area may have a depth of 18 feet if wheel stops are provided.						

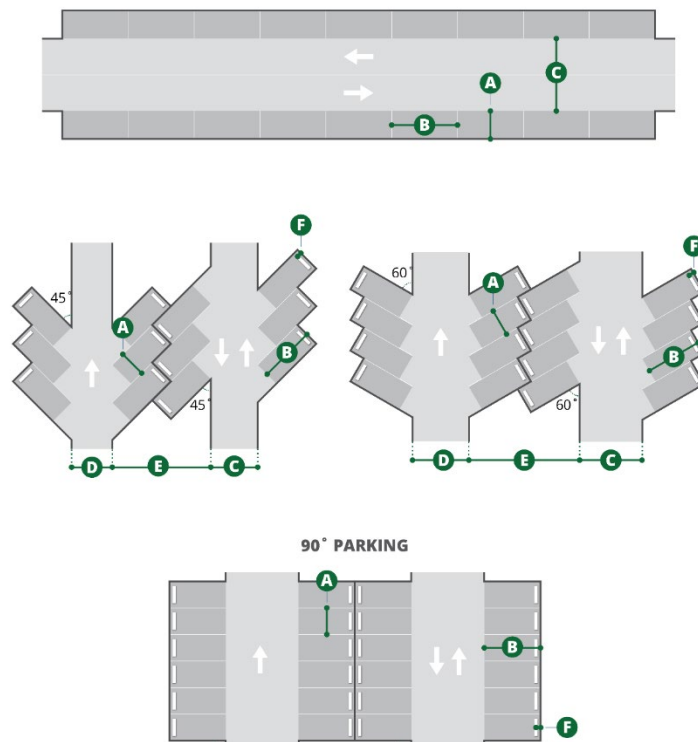


Figure 1 Space and Circulation Aisle Dimensions

- D. **Vehicle Parking Amount.** Table 10-102-D establishes the minimum number of required vehicle parking spaces per use. The maximum number of vehicle parking spaces allowed per use shall be 10 percent in excess of the minimum requirement.

Table 10-102-D: Minimum Vehicle Parking Requirements	
Use	Minimum Parking Requirement
<i>Residential Uses</i>	
Dwelling, Single-Family Detached	2 / dwelling
Dwelling, Duplex	
Dwelling, Triplex/Quadplex	
Dwelling, Multi-Unit Building [1]	1 / bedroom up to 2/ unit
Dwelling, Multi-Unit above ground floor [1]	
Dwelling, Cottage Court	1.5 / dwelling
Dwelling, Townhouse	2 / dwelling
Live-Work Unit	1 / dwelling plus 1 / 250 sq ft of commercial space
Multi-Unit Building Complex	1 / bedroom up to 2/ unit
Group Homes, up to 8 residents	2 / dwelling
Group Homes, 9+ residents	3 / dwelling
Senior Housing, Dependent	0.5 / dwelling/bed
Senior Housing, Independent	1 / dwelling
<i>Public and Institutional Uses</i>	
Cemetery	As determined through applicable permit process
Day Care	1 / 250 sq ft
College/University	As determined through applicable permit process
Hospital	1 / hospital bed
Membership Organizations, 2,500 sq ft or less	1 / 250 sq ft
Membership Organizations, More than 2,500 sq ft	
Park	None for the first acre 1/ acre after the first acre PLUS 1 per every 5 persons of design capacity for any structure or court located in the park.
Place of Worship, less than 15,000 sq ft	1 / 250 sq ft
Place of Worship, more than 15,000 sq ft	
Public Cultural and Community Facilities	
Public Library, Museum, or Gallery	
Public Service/Safety Facility	

Table 10-102-D: Minimum Vehicle Parking Requirements	
Use	Minimum Parking Requirement
School, Elementary and Middle Public	As determined through applicable permit process
School, Elementary and Middle Private	
School, High	
School Vocational/Technical	
Vacant Land/Vacant Building	N/A
<b>Commercial Uses</b>	
Adult Uses	1 / 250 sq ft
Alcohol/Liquor Sales	
Amusement and Recreation Services, 2,500 sq ft or less	
Amusement and Recreation Services, More than 2,500 sq ft	
Bank, Credit Union, Financial Services	
Bar/Tavern	1 / 150 sq ft
Cannabis Dispensary, Adult Use	1 / 250 sq ft
Cannabis Dispensary, Medical Use	
Coworking Space	
Firearms Dealer	
Funeral Home	
General Retail	
Golf Course	As determined through applicable permit process
Hotel	1 / lodging unit
Medical Clinic	1 / 250 sq ft
Medical Spa	
Microbrewery/Winery/Distillery With Tasting Room	
Personal Service	
Physical Fitness Facilities, 2,500 sq ft or less	1 / 500 sq ft
Physical Fitness Facilities, 2,500 sq ft or more	1 / 250 sq ft
Professional Services	1 / 150 sq ft
Restaurant	
Meeting/ Event Facility	1 / lodging unit
Short-Term Rental	
Tobacco Retail Sale	1 / 250 sq ft
<b>Industrial and Vehicle Related Uses</b>	
Artisan Manufacturing	1 / 1,000 sq ft
Brewery/Winery/Distillery	
Car Wash	1 / 250 sq ft
Commercial Kitchen	1 / 1,000 sq ft
Contractor Shop	
Crematorium	

Table 10-102-D: Minimum Vehicle Parking Requirements	
Use	Minimum Parking Requirement
Dry Cleaner, Processing On Site	
Fuel Sales	1 / 250 sq ft
Industry, Heavy	1 / 1,000 sq ft
Industry, Light	
Materials Salvage Yard / Recycling Operations	
Microbrewery/Winery/Distillery With or Without Tasting Room	
Motor Vehicle Sales/Rental, With Open Sales Lot	1 / 300 sq ft
Motor Vehicle Sales/Rental, Without Open Sales Lot	
Off-Street Parking	N/A
Personal / Self Serve Storage	1 / 1,000 sq ft
Trucking Company	
Vehicle Services - Major Repair/Body Work	1 / 300 sq ft
Vehicle Services - Minor Maintenance/Repair	
Warehouse, Distribution/Storage	1 / 1,000 sq ft
Wholesale Trade	
Utilities and Infrastructure	
Electrical Substations	As determined through applicable permit process
Public Utility Facilities	
Required Detention Facilities	N/A
Transit Facilities	As determined through applicable permit process
Wireless Telecommunications Equipment	
Wireless Telecommunications Tower	
Agriculture and Animal-Related	
Animal Production	1 / 1,000 sq ft
Community Garden	
Crops and Horticulture	
Indoor Agriculture	
Nursery & Garden Center, With Open Sales Lot	1 / 500 sq ft
Nursery & Garden Center, Without Open Sales Lot	
Veterinary and Animal Care Services, indoor and outdoor	1 / 300 sq ft
Veterinary and Animal Care Services, indoor only	
Accessory Uses	
Accessory Dwelling Unit (ADU), Attached or Detached	1/dwelling
Accessory Structure / Building	n/a
Drive-Through Facility	
Electric Vehicle Charging Station	
Food Cart or Truck, Accessory	
Garden, Accessory	
Home Based Daycare	

Table 10-102-D: Minimum Vehicle Parking Requirements	
Use	Minimum Parking Requirement
Home Occupation	
Outdoor Display / Sale of Merchandise, Permanent	
Outdoor Seating for Eating and Drinking Uses	
Outdoor Storage Yard	
Small Cell Wireless Facilities	
Solar Energy Collection System, Canopy	
Solar Energy Collection System, Ground	
Solar Energy Collection System, Roof	
Temporary Uses	
Civic Uses of Public Property	As determined through applicable permit process
Contractor Trailer / Temporary Real Estate Sales	
Farmers Market	
Garage Sales	
Parking of Trailers, Boats, and Other Vehicles	
Portable Outdoor Storage Device	
Seasonal Sales	
Tents	



**E. Parking for Townhouse, Triplex, Quadplex, and Multifamily Dwellings.****1. Resident Parking.**

- a. **Townhouse Resident Parking.** At least one space required for each townhouse unit shall be located on each individual townhouse lot of record.
- b. **Triplex, Quadplex, and Multifamily Resident Parking.** At least one space required for each unit shall be located within 250 feet of the unit.

**2. Guest Parking.**

- a. Guest parking shall include parking spaces located in parking areas available for use in common by at least three individual units.
- b. No required guest parking space shall be located farther than 500 feet, measured along an on-site pedestrian walkway (Section 10-105), from the unit it is required to serve.

**F. Allowed Adjustments to Vehicle Parking Standards.**

1. **Required Parking in the Village Green Overlay District.** Properties located within the mapped Village Green Overlay District may reduce the required number of parking spaces for all uses by up to 50%, not fewer than one space per dwelling unit.

**2. Landbanking of Required Parking.**

- a. **Landbanking Authorized.** The Board of Trustees may, by Special Permit granted pursuant to Section 2-113, reduce the total number of off-street parking spaces as specified in to Section 10-102-D or the stall length and width dimension required pursuant to Section 10-102-C above, subject to acceptance by the property owner of the conditions set forth below. No such Special Permit shall allow landbanking of more than 50 percent of the parking spaces required to be provided accessory to any senior housing development.
- b. **Termination of Landbanking.** The Board of Trustees shall have the right, in its sole and absolute discretion, to require the property owner or their successor, at any time, to increase the stall length and width to the dimension required by Section 10-102-C above or to increase the number of parking spaces provided to serve said development up to the maximum required by Section 10-102-D for the property in question as if no Special Permit for landbanking had been granted.
- c. **Alternate Plans Required.**
  - i. Every application for a Special Permit to allow landbanking of required parking spaces shall be accompanied by alternate detailed parking plans. One plan shall show the full stall length and width required by Section 10-102-C above and the full number of parking spaces required pursuant to Subsection 10-102-D of this Section. The other plan shall show the reduced stall length and width or the reduced number of parking spaces, or both, proposed pursuant to the Special Permit being sought

and shall also show the landscaping required in Section 10-106 proposed to be reserved for future parking requirements.

- ii. The design plans for such parking areas shall be subject to the approval of the Board of Trustees.
  - d. **Open Space Covenant.** As a condition of granting a Special Permit, the applicant shall file with the Village Manager their unconditional agreement and covenant in form and substance satisfactory to the Village Attorney that areas reserved for future parking shall be maintained as landscaped open space until and unless required to be used for off-street parking pursuant to such Special Permit. The Code granting such permit, together with such agreement and covenant, shall be recorded with the Recorder of Deeds of Cook County, Illinois.
3. **Reduction of Required Number of Parking Spaces in Excess of Allowable Parking Variation.**
- a. **Reduction Authorized.** Notwithstanding any other provision of this Section, the Board of Trustees may, by Special Permit granted pursuant to Section 2-112 of this Code, reduce the total number of off-street parking spaces required pursuant to Subsection 10-102-D of this Section in excess of the allowable 25% parking variation (Section 10-102-F-3(a)).
  - b. **Alternate Plans Required.**
    - i. Every application for a Special Permit to allow reduction of required parking spaces shall be accompanied by alternate detailed parking plans. One plan shall show the number of parking spaces required pursuant to Subsection D of this Section; the other plan shall show the reduced number of parking spaces proposed to be provided pursuant to the Special Permit being sought and shall also show the landscaping treatment of areas proposed to be reserved for future parking requirements. Both such plans shall show the location on the site of all parking areas, the exact number of parking spaces to be provided, and complete details for:
      - a) Wheel stops,
      - b) Markings,
      - c) Curbing,
      - d) Surfacing,
      - e) Screening and landscaping,
      - f) Lighting,
      - g) Signing, and
      - h) Access.

- ii. The design plans for such parking areas shall be subject to the approval of the Board of Trustees.
  - c. **Covenant.** As a condition of granting a Special Permit, the applicant shall file with the Village Manager their unconditional agreement and covenant in form and substance satisfactory to the Village Attorney that should the property ever cease to be used for its current use, additional off-street parking spaces will be provided in accordance with the then applicable off-street parking requirements for such use to which the property is converted. The Code granting such permit, together with such agreement and covenant, shall be recorded with the Recorder of Deeds of Cook County, Illinois.
4. **Waiver of Off-Street Parking Requirement for Certain Public Parks.**
- a. **Waiver Authorized.** Notwithstanding any other provision of this Section, the Board of Trustees may issue a waiver to reduce the total number of off-street parking spaces required for a public park of five acres or less in size, following receipt of an application by the owner of such public park and a public hearing considering such application as set forth in Subsection below.
  - b. **Public Hearing Required.** Any application pursuant to this Subsection shall be considered at a public hearing conducted pursuant to notice meeting the requirements applicable to variations set forth in Section 2-103 of this Code.
    - i. Whenever any other application is filed pursuant to this Code or the Northbrook Subdivision and Development Code (1991) as a companion to an application for waiver under this Subsection, and such application requires a Plan Commission hearing, the public hearing on the application for waiver shall be conducted by the Plan Commission.
    - ii. If the application for waiver is submitted without any companion requests which require a Plan Commission hearing, the public hearing shall be conducted by the Board of Trustees.
5. **Off-Street Parking Reduction for Bicycle Parking.**
- a. **Applicability.** This provision is applicable to all land uses except single-family detached and duplex residential uses.
  - b. **Off-Street Parking Reduction.** A reduction in the number of off-street vehicle parking specified in Section 10-102-D shall be permitted for the provision of bicycle parking provided that:
    - i. No fee is required for using the bicycle parking made available;
    - ii. When calculation of the maximum number of reduced parking spaces results in a fraction, the resulting number shall be rounded to the next highest integer.

c. **Reduction Allowed.**

- i. The number of off-street vehicle parking spaces may be reduced by no more than one space for every two bicycle parking spaces, but no more than five percent of the total required spaces.
- ii. The allowed reduction in off-street vehicle parking spaces shall apply for all bicycle parking provided above the minimum quantity of bicycle parking required per Section 10-104-C.

**10-103. Off-Street Loading**A. **General Provisions.**

1. **Purpose.** The purpose of the Off-Street Loading requirements is to ensure adequate loading spaces and areas are provided to ensure efficient loading and unloading activity and to minimize negative traffic and aesthetic impacts on the Village.
2. **Applicability.** The Off-Street Loading standards established in this section shall apply as detailed in Table 10-103-A.

Table 10-103-A: Off-Street Loading Standards Applicability Overview						
<p>Key:</p> <ul style="list-style-type: none"><li>● = Standards apply to entire development site</li><li>○ = Standards apply to portion of site or building(s) impacted by development activity</li></ul> <p>Blank = Standards do not apply</p>		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
Standard	Reference					
Required Loading Spaces	10-103-B	●	●	●	●	●

- B. **Loading Spaces.** Loading spaces include dedicated areas for the unloading and loading of vehicles that qualify as Class 6 or heavier truck classes.

1. **Required Loading Spaces.** All properties receiving Class 6 or higher truck classes on a site containing commercial, industrial or vehicle related, utilities and infrastructure uses as specified in Section 6-105 and Section 7-105 shall provide at least one loading space subject to the standards of this Section.
2. **Location on Same Lot Required.** Loading spaces shall be located on the same lot as the use they serve.
3. **Location on Lot.** All loading spaces shall comply with the yard requirements applicable to principal uses in the district in which they are located. Open loading spaces may be in a required rear yard.
4. **Location Near Intersections.** No loading space shall be located within 50 feet of the nearest point of intersection of any two public or private streets.

5. **Location Near Public Right-of-Ways.** No loading space shall be located closer to any public right-of-way than the facade of the building facing such right-of-way.
6. **Building Facades.** No loading space in a mixed use, commercial, or office district shall open onto any building facade facing a public right-of-way.
7. **Arrangement.** All loading spaces shall be located and arranged to provide logical and convenient access thereto from the use they serve.
8. **Access to Street.**
  - a. Loading spaces shall be designed and arranged to provide access to a street or alley in a manner that will create the least possible interference with through traffic movements.
  - b. No curb cut across public property shall exceed 40 feet in width without the written approval of the Village Manager.
9. **Maneuvering Space.**
  - a. In all Districts except for Industrial Districts, every loading space shall be provided with sufficient maneuvering space on the lot where it is located to allow vehicles to access and exit the space without having to make any backing movement on or into any public or private street.
  - b. On properties in the Industrial Districts, loading spaces may be designed to enable vehicles to back onto a public or private street if the Village Manager and Village Engineer determine that the arrangement would provide for adequate safety.
10. **Surface, Drainage and Markings.** Every loading space shall be faced with an asphalt or Portland cement binder pavement providing an all-weather, durable and dustless surface, and all such construction shall meet the minimum standards for structural materials established by the Village.
11. **Lighting.** Lighting used to illuminate an off-street loading area shall meet the standards of Section 10-109.

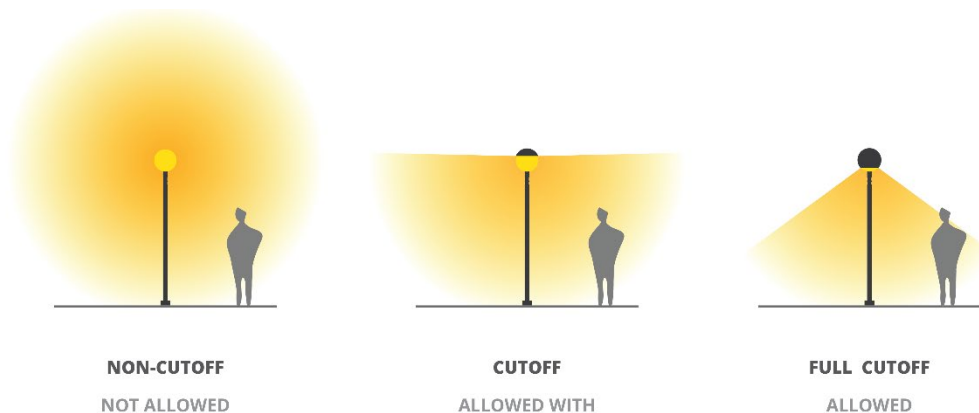


Figure 2 Off-Street Loading Area Lighting

- C. **Loading Areas.** Loading areas include areas on a site where the loading and unloading of a vehicle that qualifies as Class 5 or a lighter truck class can be accommodated without impeding the flow of traffic or access to parking spaces regulated per Section 10-102.

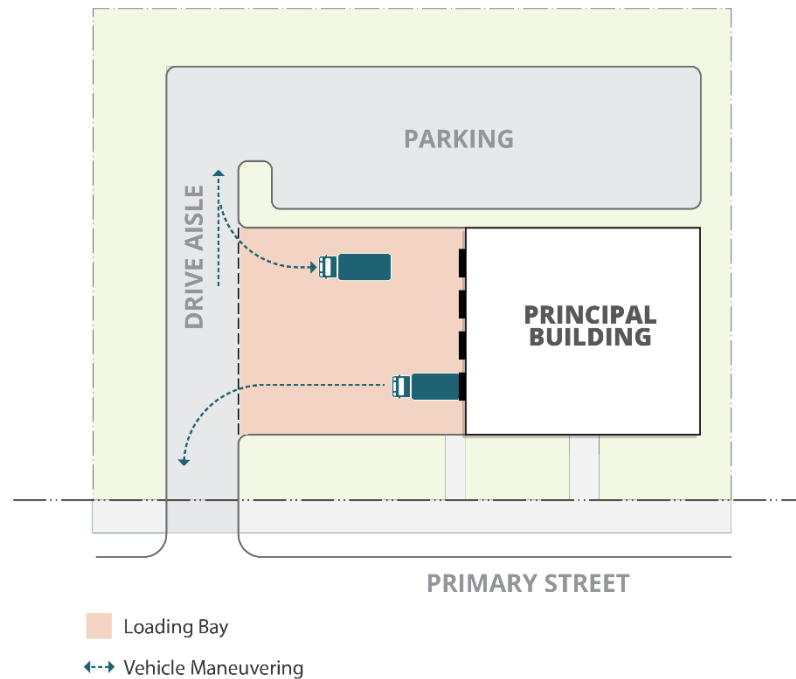


Figure 3 Loading Areas

## 10-104. Off-Street Bicycle Parking

### A. General Provisions.

1. **Purpose.** The purpose of the Off-Street Bicycle Parking requirements is to ensure sufficient bicycle parking exists in the Village to support and encourage this mode of transportation.
2. **Applicability.** The Off-Street Bicycle Parking standards established in this section shall apply as detailed in Table 10-104-A.

Table 10-104-A: Off-Street Bicycle Parking Standards Applicability Overview						
<p>Key:</p> <ul style="list-style-type: none"><li>● = Standards apply to entire development site</li><li>○ = Standards apply to portion of site or building(s) impacted by development activity</li><li>Blank = Standards do not apply</li></ul>		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
Allowed Bicycle Parking Area Locations	10-104-B	●	○			
Short-Term Bicycle Parking Facilities Standards	10-104-B-5	●	○	○	○	
Long-Term Bicycle Parking Facilities Standards	10-104-B-6	●	●			
Parking Structures	10-104-B-7	●	●			
Minimum Short-Term Bicycle Parking Requirements	10-104-C-1	●	●	○	○	○
Minimum Long-Term Bicycle Parking Requirements	10-104-C-2	●	●	○	○	○

### B. Allowed Bicycle Parking Area Locations.

1. **Access and Safety.** Bicycle racks shall be located in designated areas which minimize pedestrian and vehicle conflicts. If located within a parking lot, the bicycle racks shall be clearly designated and located as close to a building entrance as possible. Bicycle racks provided adjacent to a pedestrian walkway shall allow sufficient passage (five feet minimum) for pedestrians.
2. **Visibility.** Bicycle racks shall be located such that they are highly visible, with adequate lighting, from the street or building entrance(s) from where bicyclists approach.
3. **Installation Requirements.** Bicycle racks shall conform to such standards as may be established by the Village Engineer. A hard surface parking area is required. Bicycle racks must be securely anchored to a supporting surface. Installation of bicycle racks shall conform to the requirements set forth by the bicycle rack manufacturer and as established by the Village Engineer.

4. **Theft Prevention.** Bicyclists must be able to lock their bicycles to the bicycle rack with the rack supporting the bicycle in an upright position. Bicycle racks shall be installed with adequate space beside the parked bicycle so that bicyclists will be able to reach and operate their locking mechanisms.
5. **Short-Term Bicycle Parking Facilities Standards.**
  - a. If provided outdoors, short-term bicycle parking facilities shall be sited within 50 feet of the main entrance of a building.
  - b. If provided indoors, short-term bicycle parking facilities shall be located within an easily accessible common area designated for secure bicycle storage.
  - c. Short-term bicycle parking facilities adjacent to a pedestrian walkway shall be sited to ensure that a minimum five-foot walkway clearance is maintained.

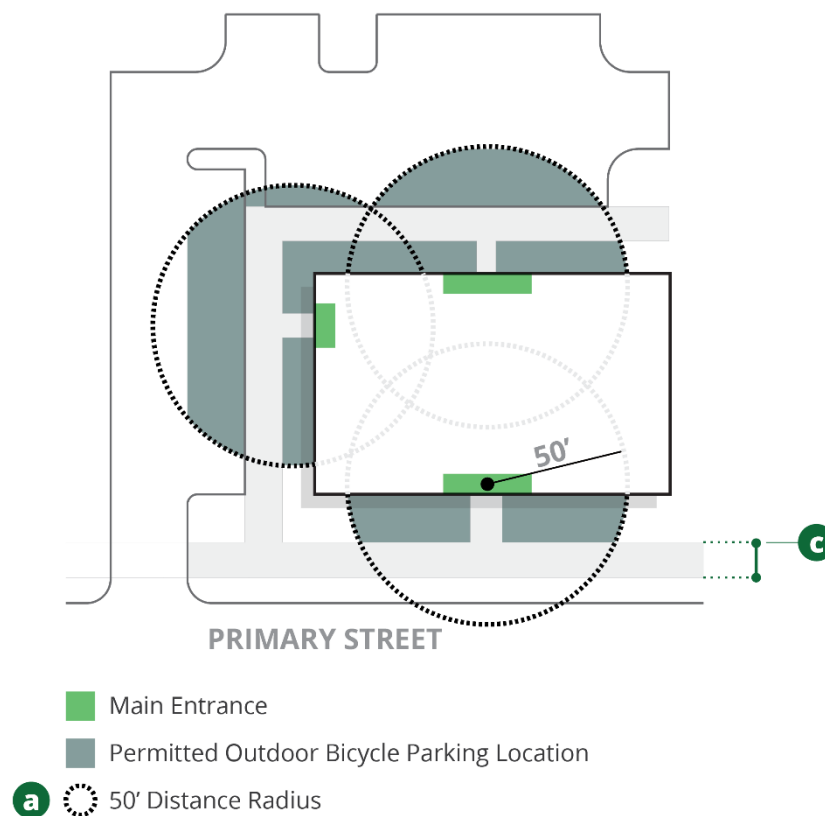


Figure 4 Short-Term Bicycle Parking



## 6. Long-Term Bicycle Parking Facilities Standards.

- a. Long-term bicycle parking shall be covered and weather resistant.
- b. Long-term bicycle parking shall be located near the building entrance it is intended to serve.
- c. Long-term bicycle parking may be located within an internal area accessible by the public (such as bike locker rooms) or located in stairwells, as long as the storage is compliant with all other applicable Village codes.
- d. Storage within a dwelling unit shall not be considered a long-term bicycle parking space.

## 7. Parking Structures.

- a. Parking structures shall provide bicycle parking within the structure.
- b. Bicycle parking shall be located on the level closest to the street or a primary building entrance.

## C. Required Bicycle Parking.

1. **Minimum Short-Term Bicycle Parking Requirements.** The minimum short-term bicycle parking requirements established in Table 10-104-C(1) shall apply to nonresidential developments only.

Table 10-104-C(1): Minimum Short-Term Bicycle Parking Requirements	
District	Number of Required Bicycle Parking Spaces per Vehicle Parking Spaces
<i>VGRC, RLC, MFRC, C-2, C-3, O-4</i>	1 per 20 vehicle parking spaces or 5, whichever is greater
<i>C-4, C-5, O-1, O-2, O-3</i>	1 per 40 vehicle parking spaces or 5, whichever is greater
<i>O-5, IB, ICS, I-1, I-2</i>	1 per 80 vehicle parking spaces or 3, whichever is greater

2. **Minimum Long-Term Bicycle Parking Requirements.** The minimum long-term bicycle parking requirements established in Table 10-104-C(2) shall apply to multifamily and mixed use developments only.

Table 10-104-C(2): Minimum Long-Term Bicycle Parking Requirements	
District	Number of Required Bicycle Parking Spaces per Vehicle Parking Spaces
<i>Multifamily Districts</i>	1 per 10 vehicle parking spaces or 10, whichever is greater

## 10-105. On-Site Pedestrian Walkways

### A. General Provisions.

1. **Purpose.** The purpose of the On-Site Pedestrian Walkway requirements is to ensure pedestrians have a safe means of navigating within and between development sites to promote and encourage this mode of transportation.
2. **Applicability.** The On-Site Pedestrian Walkway standards established in this section shall apply as detailed in Table 10-105-A.

Table 10-105-A: On-Site Pedestrian Walkway Standards Applicability Overview						
Key:  ● = Standards apply to entire development site  ○ = Standards apply to portion of site or building(s) impacted by development activity  Blank = Standards do not apply		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
Required On-Site Pedestrian Walkway Locations	10-105-B	●	○			
On-Site Pedestrian Walkway Design	10-105-B	●	○	○	○	○
Allowed Adjustments to Pedestrian Walkway Standards	10-105-C	●	●	●	●	●

### B. Required On-Site Pedestrian Walkway Locations.

1. On-site, pedestrian walkways shall connect all buildings on the site to one another and provide connections to parking areas.
2. On-site, pedestrian walkways shall connect each building on a development site to greenways, parks, open space, and community space located within the developments or adjacent to the development site.
3. On-site, pedestrian walkways shall connect building entrances to transit stops on the same property.
4. On-site, pedestrian walkways shall connect each building entrance to adjacent public sidewalks along direct routes of travel.

C. **On-Site Pedestrian Walkway Design.** Where driveways, parking, and loading entrances and exits cross pedestrian walkways, the pedestrian walkway shall be designed with minimal disruptions to safe, continuous pedestrian connectivity.

D. **Allowed Adjustments to Pedestrian Walkway Standards.** The Village Manager, may, as an Administrative Adjustment (Section 2-104), grant exceptions to the requirements of this section

when either the site's topography or the presence of natural resources prohibits the provision of pedestrian walkways that meet the standards of this Section.

## 10-106. Landscape

### A. General Provisions.

1. **Purpose.** The purpose of the Landscape requirements is to preserve and enhance Northbrook's character; improve air quality, conserve water, manage stormwater and urban heat islands, and mitigate climate change; and to minimize negative off-site impacts including but not limited to noise, glare, and views to parking, service and loading areas.
2. **Applicability.** The Landscape standards established in this section shall apply as detailed in Table 10-106-A.

Table 10-106-A: Landscape Standards Applicability Overview						
<p>Key:</p> <ul style="list-style-type: none"><li>● = Standards apply to entire development site</li><li>○ = Standards apply to portion of site or building(s) impacted by development activity</li></ul> <p>Blank = Standards do not apply</p>		<i>New development</i>	<i>Major redevelopment</i>	<i>Intermediate redevelopment</i>	<i>Minor redevelopment</i>	<i>Change of use</i>
Standard	Reference					
Building Foundation Landscape Area	10-106-B-1	●	○	○		
Parking Lot Perimeter Landscape Area	10-106-B-1	●	●	●	○	
Parking Lot Interior Landscape Area	10-106-B-1	●	●	○		
Transition Landscape Area	10-106-B-4	●	○	○	○	●

### B. Establishment of Required Landscape Areas.

1. **Building Foundation Landscape Area.**
  - a. **Purpose.** The purpose of the building foundation landscape area is to provide a softening effect and improve the appearance of multifamily, mixed use, and nonresidential buildings, with the exception of those in the ICS, I-1, or I-2 Districts, as viewed from the public right-of-way.
  - b. **Location.** Building foundation landscape shall be located at the base of front and corner side yards facing building facades.

## 2. Parking Lot Perimeter Landscape Area.

- Purpose.** The purpose of the parking lot perimeter landscape area is to screen vehicle bumpers and headlights from the public right-of-way, while maintaining views from the public right-of-way into parking areas for safety purposes.
- Location.** Parking lot perimeter landscape shall be located between parking areas and public rights-of-way.

## 3. Parking Lot Interior Landscape Area.

- Purpose.** The purpose of the parking lot interior landscape area is to improve on-site stormwater management, combat urban heat island effects, and provide shade within parking areas.
- Location.** Parking lot interior landscape shall be located within off-street vehicle parking areas.

## 4. Transition Landscape Area.

- Purpose.** The purpose of the transition landscape area is to protect residential areas from incompatible uses to ensure privacy and the peaceful enjoyment of Northbrook neighborhoods.
- Location.** Transition landscape shall be located on the subject property along the interior side or rear property line adjacent to a residential use or property zoned in the R-1, R-2, R-3, R-4, or R-5 districts

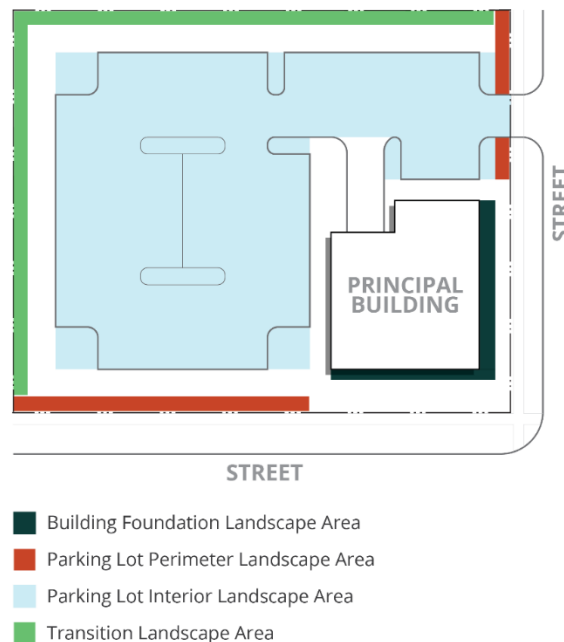


Figure 5 Transition Landscape Area

C. Establishment of Landscape Elements.

1. **Canopy Trees.** A woody plant (deciduous or evergreen) having not less than a two and one-half inch caliper with single central axis which typically reaches a mature height of not less than 40 feet and a mature spread of not less than 15 feet.
2. **Understory Trees.** A woody plant having not less than a one and one-half inch caliper, or six feet tall for multiple stem species, that normally attains a mature height of at least 15 feet.
3. **Evergreen Trees.** A tree having foliage that persists and remains green throughout the year and has a height of not less than six feet at installation and maturing to a height of not less than 20 feet.
4. **Shrubs.** A woody plant (deciduous or evergreen) of low to medium height characterized by multiple stems continuous from its base and having a height of not less than two feet, unless classified as a shrub by the State of Illinois.
5. **Native Grasses.** Grasses that are native to the State of Illinois, not including noxious weeds.
6. **Herbaceous Perennials.** Plants with non-woody stems whose above-ground growth largely or totally dies back during winter months but whose underground plant parts (roots, bulbs, etc.) survive.
7. **Groundcover.** Spreading herbaceous plants, other than turf grass, or prostrate shrubs, or woody vines normally reaching an average maximum height of 18 inches at maturity.

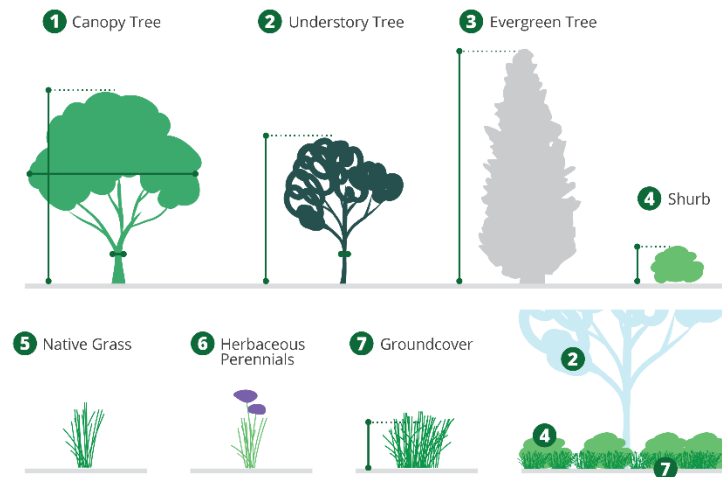


Figure 6 Landscape Elements

**D. Building Foundation Landscape Area Design.**

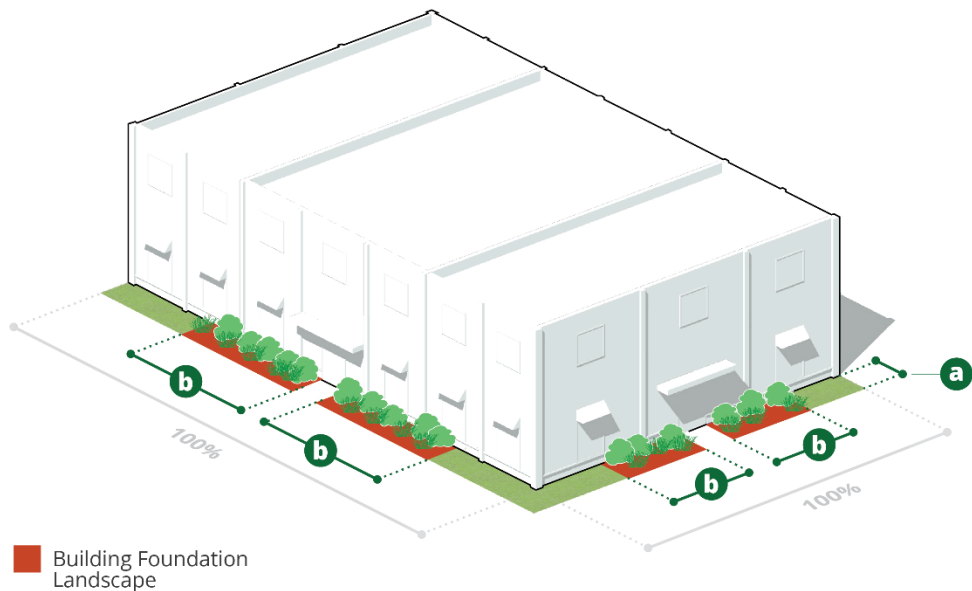
**1. Area Required.**

**a. Width.**

- i. Building foundation landscape area width shall be:
  - a) A minimum width of 10 feet when the building height is more than the lesser of three stories or 35 feet,
  - b) A minimum width of five feet when the building height is less than the lesser of three stories or 35 feet.
- ii. The minimum width of a building foundation landscape area shall be measured from the edge of the building.

**b. Length.** The building foundation landscape area shall extend for a minimum length equal to 50 percent of the length of each applicable façade.

**c. Location.** The building foundation landscape area shall be located at the base of the front and street-facing building facades.



*Figure 7 Building Foundation Landscape*

- 2. Plant Materials Required.** Building foundation landscape areas shall contain any combination of the landscape elements specified in Section 10-106-C as deemed appropriate for the site by the Village Manager and applicant. All areas adjacent to a building or structure

that are not paved and not otherwise landscaped as required by this Subsection shall be sodded and maintained with groundcover meeting the standards of Section 10-106-C(7).

3. **Design.** Building foundation landscape areas shall be designed to:
  - a. Provide visual relief along large expanses of building walls and accent building entrances and architectural features; and
  - b. Enhance walkways, entrances, outdoor seating areas, and other pedestrian areas.
4. **Exception.** The building foundation landscape area requirement shall not apply in the Village Green Overlay District, where the Form-Based Code allows for a zero setback.

**E. Parking Lot Perimeter Landscape Area Design.**

1. **Area Required.**
  - a. **Depth.** Parking lot perimeter landscape area width shall be a minimum of seven feet, as measured from the back of curb of the off-street parking area outward toward the right-of-way.
  - b. **Length.** The parking lot perimeter landscape area shall extend the full length of the portion of the parking area adjacent to the public right-of-way, excluding curb cuts and pedestrian walkways.
2. **Plant Materials Required.**
  - a. **Option 1 - Traditional.**
    - i. One canopy tree shall be planted every 40 feet of parking lot perimeter landscape area length.
      - a) Where a canopy tree is required and overhead utility lines exist, two understory trees shall be substituted with the approval of the Village Manager.
    - ii. One shrub or native grass shall be planted every four feet of parking lot perimeter landscape area length.

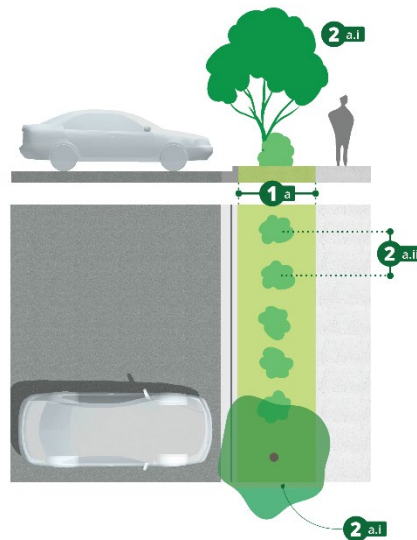


Figure 8 Parking Lot Perimeter Option 1

- b. **Option 2 – Rain Garden.** If a rain garden is utilized, it may be credited towards required stormwater management in accordance with Article XIII of the Northbrook Municipal Code.
- i. A curb shall be utilized to separate the parking area perimeter landscape from the parking area. One curb cut or inlet structure shall be located in the curb line every 40 feet of parking lot perimeter landscape area length.
  - ii. A vegetated ponding area with a minimum width of six feet and a minimum depth of 18 inches below the surface of the parking area shall be provided and shall meet the following standards:
    - a) **Top Layer.** The top layer of the vegetated ponding area shall be planted with native flowers, grasses, and shrubs and have a four-inch-thick layer of hardwood mulch.
    - b) **Middle Layer.** The middle layer of the vegetated ponding area shall consist of a 24-inch layer of highly permeable mixture of engineered soil including sand and compost.
    - c) **Bottom Layer.** The bottom layer of the vegetated ponding area shall consist of 36 inches of gravel.
    - d) **Underdrain.** An underdrain, consisting of a perforated pipe running along the bottom of the vegetated ponding area at the top of the bottom layer and connecting to an adjacent sewer inlet shall be provided at the discretion of the Village Engineer.



- iii. A perimeter with a minimum width of two feet shall be provided on either side of the vegetated ponding area which shall be planted.

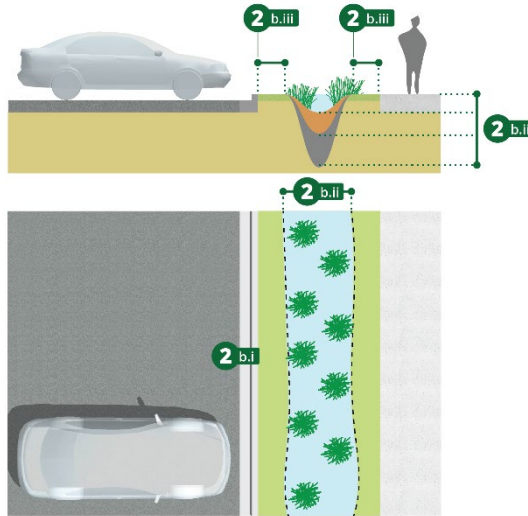


Figure 9 Parking Lot Perimeter Option 2

F. **Parking Area Interior Landscape Area.**

1. **Parking Lot Interior Landscape Area Element Requirements.** The number and type of required parking area interior landscape elements shall be determined by the location of the off-street parking area as detailed below.
  - a. **Off-Street Parking Areas in Front or to Side of Principal Buildings.** Off-street vehicle parking areas in front or to the side of principal buildings, except for commercial buildings with detached outlot / liner buildings along 60 percent or more of the street frontage, shall include the following landscape elements.
    - i. **Parking Area End Caps.** A parking area end cap shall be located at the end of every bay of parking.
    - ii. **Parking Area Medians.** Parking area medians shall be placed between every other bay of parking.
    - iii. **Parking Area Islands.** Parking area islands shall be located on every parking bay. Parking area islands shall be spaced not more than 90 feet or 10 continuous spaces apart.

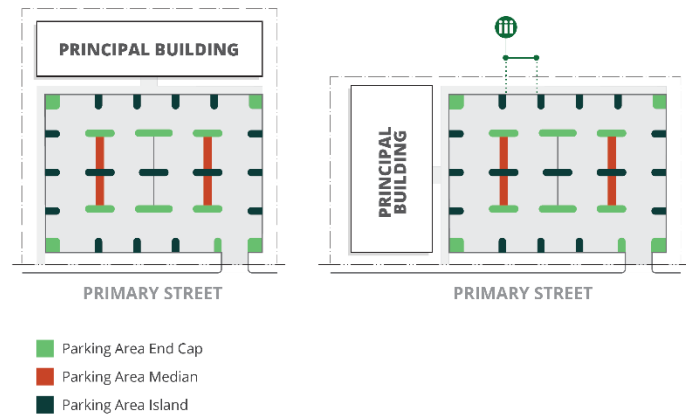
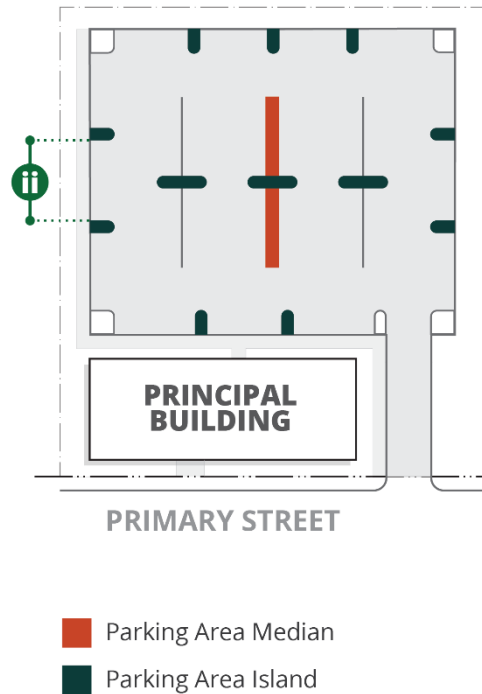


Figure 10 Parking Area Interior Landscape, Front-Side

- b. **Off-Street Parking Areas in Rear of Principal Building.** Off-street parking areas to the rear of principal buildings or located between large lot commercial buildings with detached outlot / liner buildings along 60 percent or more of the street frontage, shall include the following landscape elements.
  - i. **Parking Area Medians.** Parking area medians shall be placed between every third bay of parking.
  - ii. **Parking Area Islands.** Parking area islands shall be located on every parking bay. Parking area islands shall be spaced not more than 180 feet or 20 continuous spaces apart.

2. **Parking Lot Interior Landscape Area Element Standards.**



*Figure 11 Parking Area Interior Landscape, Rear*

a. **Parking Area End Cap Standards.**

i. **Area Required.**

- a) **Width.** Parking area end caps shall have a minimum width of 10 feet.
- b) **Length.** Parking area end caps shall have a minimum length of 18 feet.

ii. **Required Plant Materials.**

- a) A minimum of one canopy tree and three shrubs or native grasses shall be provided for every parking area end cap.
- b) If the end cap extends the width of a double bay, then two canopy trees and six shrubs or native grasses shall be provided.

iii. **Design.**

- a) Double rows of parking shall provide parking area end caps opposite one another to form a continuous single end cap.
- b) A minimum of two cubic feet of soil volume per one square foot of projected tree canopy at maturity shall be provided per canopy tree.

- c) Parking area end caps shall be protected with concrete curbing or other suitable barriers approved by the Village Engineer.
- d) Parking area end caps shall be properly drained and irrigated as appropriate to the site conditions to ensure survivability of plant materials or proper stormwater management function.

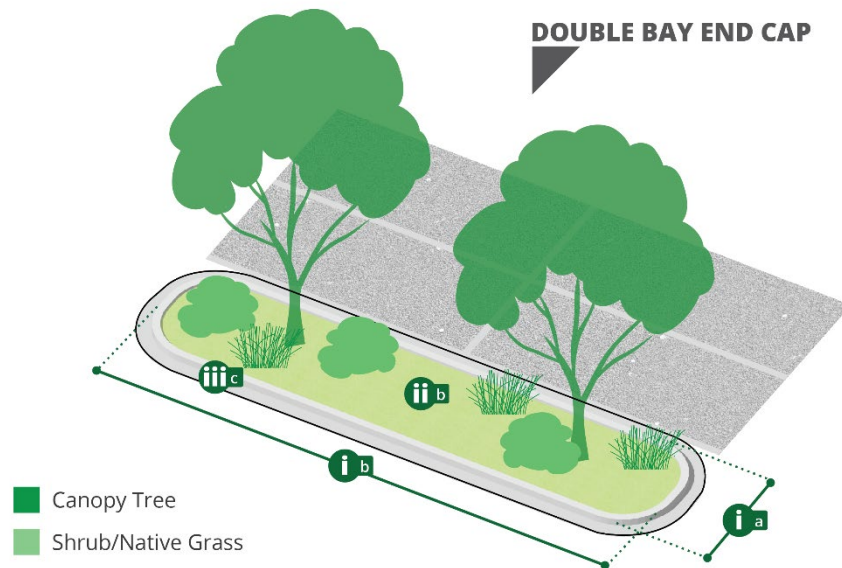


Figure 12 End Cap Standards

**b. Parking Area Median Standards.****i. Option 1 – Traditional.****a) Area Required.**

- (i) **Width.** Traditional parking area medians shall have a minimum width of 10 feet.
- (ii) **Length.** Traditional parking medians shall extend the full length of a parking row, excluding end caps.

**b) Plant Materials Required.**

- (i) A minimum of one canopy tree and 20 shrubs or native grasses shall be planted for every 50 linear feet of parking area median.

**c) Design.**

- (i) Traditional parking area medians shall have minimum soil depth of 48 inches.
- (ii) A minimum of two cubic feet of soil volume per one square foot of projected tree canopy at maturity shall be provided per canopy tree.

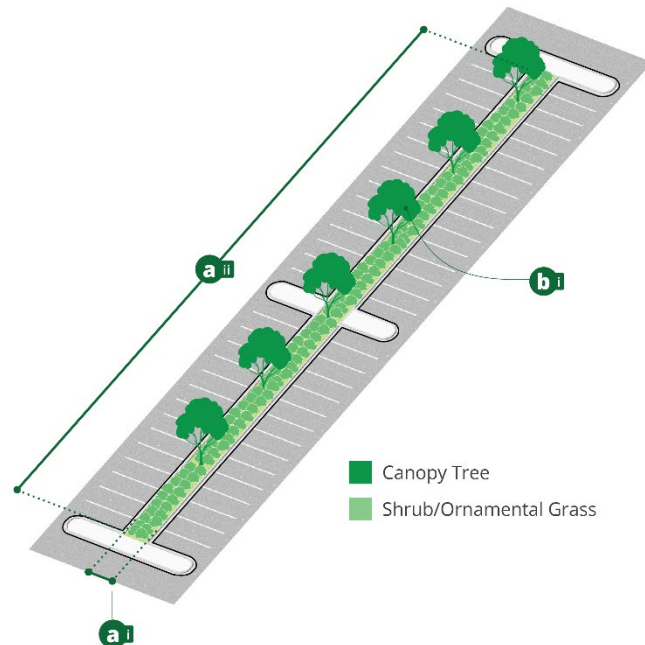


Figure 13 Median Standards Option 01

- c. **Option 2 – Rain Garden.** If a rain garden is utilized, it may be credited towards required stormwater management in accordance with Article XIII of the Northbrook Municipal Code.
- a) A curb shall be utilized to separate the parking area median from the parking area. One curb cut or inlet structure shall be located in the curb line every 40 feet of parking area perimeter landscape length.
  - b) A vegetated ponding area with a minimum width of six feet and a minimum depth of 18 inches below the surface of the parking area shall be provided and shall meet the following standards:
    - (i) **Top Layer.** The top layer of the vegetated ponding area shall be planted with native flowers, grasses, and shrubs and have a four-inch-thick layer of hardwood mulch.
    - (ii) **Middle Layer.** The middle layer of the vegetated ponding area shall consist of a 24-inch layer of highly permeable mixture of engineered soil including sand and compost.
    - (iii) **Bottom Layer.** The bottom layer of the vegetated ponding area shall consist of 36 inches of gravel.
    - (iv) **Underdrain.** An underdrain, consisting of a perforated pipe running along the bottom of the vegetated ponding area at the top of the bottom layer and

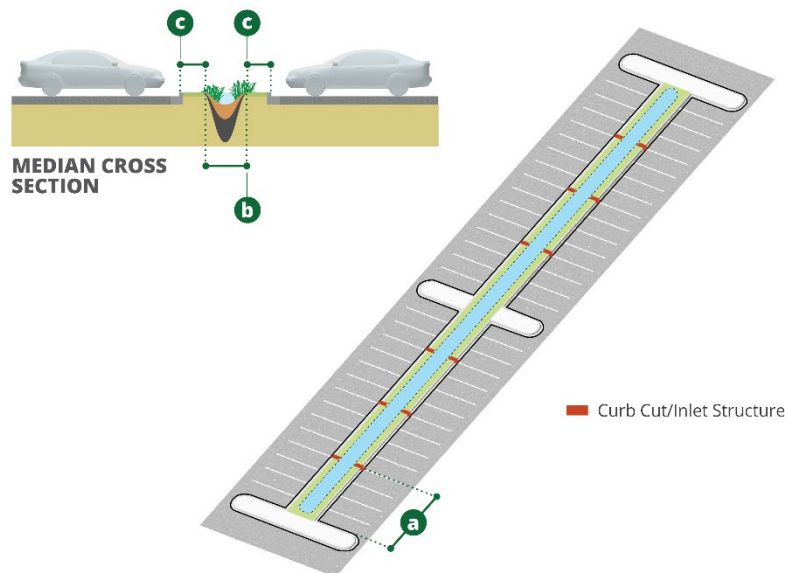


Figure 14 Median Standards Option 02

connecting to an adjacent sewer inlet shall be provided at the discretion of the Village Engineer.

- c) A perimeter with a minimum width of two feet shall be provided on either side of the vegetated ponding area which shall be planted in native, living groundcover, not including turf grass.

**d. Parking Area Island Standards.**

**i. Area Required.**

- a) **Width.** Parking area islands shall have a minimum width of 10 feet.
- b) **Length.** Parking area islands shall have a minimum length of 18 feet.

**ii. Required Plant Materials.**

- a) A minimum of one canopy tree shall be provided for every parking area island.
- b) If the island extends the width of a double bay, then two canopy trees shall be provided.

**iii. Design.**

- a) Double rows of parking shall provide parking area islands opposite one another to form a continuous single island.
- b) A minimum of two cubic feet of soil volume per one square foot of projected tree canopy at maturity shall be provided per canopy tree.
- c) Parking area islands shall be protected with concrete curbing or other suitable barriers approved by the Village Engineer.
- iv. Parking area islands shall be properly drained and irrigated as appropriate to the site conditions to ensure survivability of plant materials or proper stormwater management function.

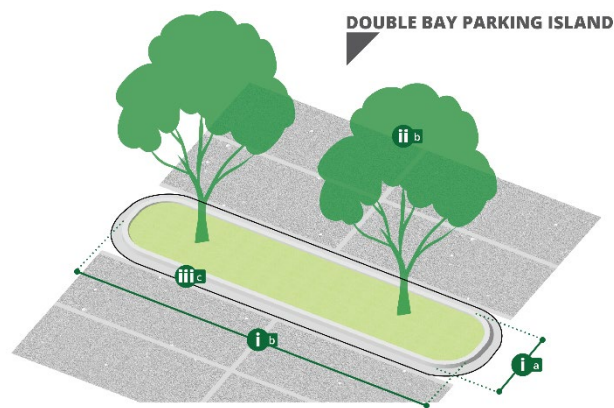


Figure 15 Island Standards

### 3. **Parking Area Interior Landscape Area Relation to On-Site Pedestrian Walkways.**

- a. On-site pedestrian walkways, as required in the interior of off-street vehicle parking areas in Section 10-102 shall be located along parking area medians in a manner that does not require people to step over or around landscape materials to access the walkway.
- b. The Village Manager may waive or modify this requirement on determining that locating on-site pedestrian walkways along parking area medians is impractical due to site conditions or undesirable because it would create unsafe conditions.

## G. **Transition Landscape Area.**

### 1. **Transition Landscape Area Type Establishment.**

- a. **Type A.** The intent of the Type A transition landscape area is to create a completely opaque buffer, having no horizontal openings from the ground to a height of six feet within two years of planting.
- b. **Type B.** The intent of the Type B transition landscape area is to create a semi-opaque buffer, having only seasonal horizontal openings, not to exceed 10 percent of the total width, from the ground to a height of six feet within two years of planting.
- c. **Type C.** The intent of the Type C transition landscape area is to create a semi-opaque buffer, having only seasonal horizontal openings, not to exceed 25 percent of the total width, from the ground to a height of six feet within two years of planting.

2. **Transition Landscape Area Type Requirements.** The transition landscape area types shall be required based on the district and land use of the subject lot as compared to the district and land use of the adjacent lot in accordance with Table 10-106-G(2). If the adjacent lot is undeveloped, the more stringent buffer requirement applicable to the district shall apply.



**Table 10-106-G(2): Transition Landscape Area Type Requirements**

Subject Lot Land Use							
	<i>Residential - R-1, R-2, R-3, R-4, R-5 Districts</i>	<i>Residential -R-6, R-7, R-8, RS, MFRC, VGRC Districts</i>	<i>Public and Institutional</i>	<i>Commercial</i>	<i>Industrial and Vehicle Related</i>	<i>Utilities and Infrastructure</i>	<i>Agriculture and Animal Related</i>
<i>Residential - R-1, R-2, R-3, R-4, R-5 Districts</i>	n/a	n/a	n/a	n/a	n/a	n/a	n/a
<i>Residential -R-6, R-7, R-8, RS, MFRC, VGRC Districts</i>	C	n/a	C	C	C	C	C
<i>Public and Institutional</i>	C	C	n/a	C	C	C	C
<i>Commercial</i>	A	B	B	n/a	C	C	C
<i>Industrial and Vehicle Related</i>	A	A	A	A	n/a	B	B
<i>Utilities and Infrastructure</i>	A	A	A	B	C	n/a	C
<i>Agriculture and Animal Related</i>	A	A	A	B	C	C	n/a

### 3. Transition Landscape Area Type Standards.

- a. **Type A Standards.** If a Type A transition landscape area is required, the standards established for one of the options detailed in Table 10-106-G(3) shall be met.

**Table 10-106-G(3)(a). Transition Landscape Area Type A Requirements**

Specification		Option 1	Option 2	Option 3
a.	Minimum Width [1]	50 feet	30 feet	30 feet
b.	Fence/Wall [2]	optional	optional	required
c.	Berm [3]	optional	required	optional
<i>Minimum Number of Landscape Elements per 100 Linear Feet of Landscape Area Length</i>				
d.	Evergreen Tree	10	3	3
e.	Canopy Tree	6	3	3
f.	Understory Tree	6	6	6
g.	Shrubs/Native Grasses [4]	48	36	36
<i>Notes</i>				
[1] Required yard setbacks may be utilized for perimeter buffer landscape on the same property.				
[2] Fences/walls shall meet the standards established in Section 10-108.				
[3] Berms shall meet the standards of Section 10-108 and shall be installed, excluding the planting of required landscape material, at the time of site grading and prior to the commencement of any construction activity.				
[4] 50 percent of required shrubs/ornamental grasses shall be evergreen.				

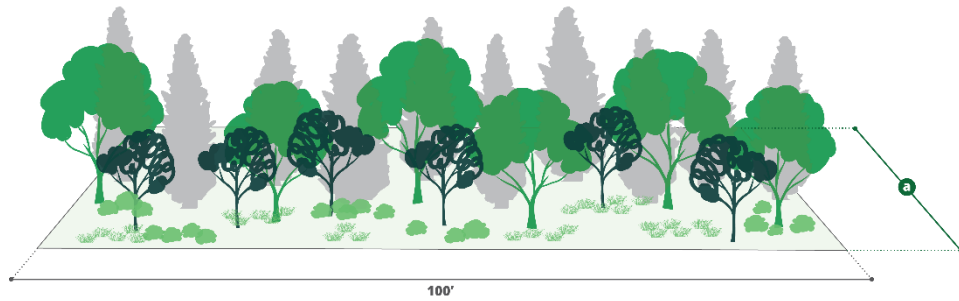


Figure 16 Type A Option 01

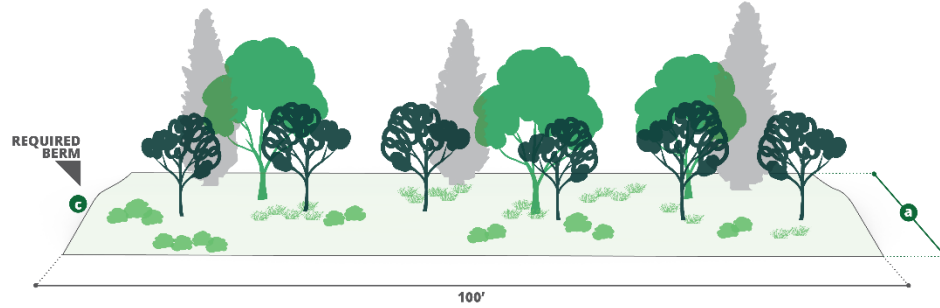


Figure 17 Type A Option 02

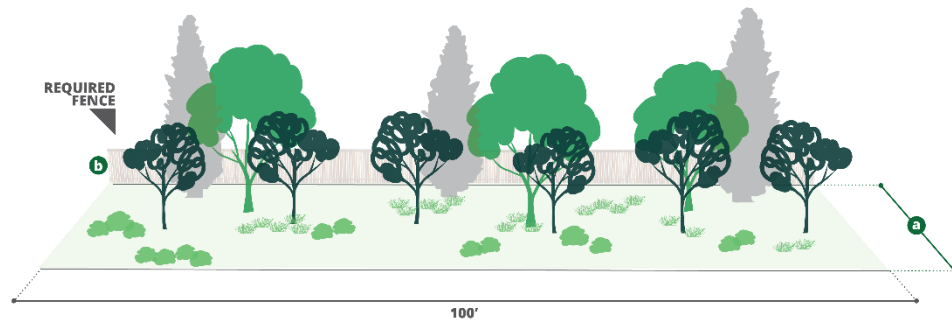


Figure 18 Type A Option 03

- Evergreen Tree
- Canopy Tree
- Understory Tree
- Shrubs/Native Grasses

- b. **Type B Standards.** If a Type B transition landscape area is required, the standards established for one of the options detailed in Table 10-106-(3)(b) shall be met.

Table 10-106-G(3)(b). Transition Landscape Area Type B Requirements			
Specification		Option 1	Option 2
a.	Minimum Width [1]	30 feet	20 feet
b.	Fence [2]	optional	required
c.	Berm [3]	optional	optional
<i>Minimum Number of Landscape Elements per 100 Linear Feet of Landscape Area Length</i>			
d.	Evergreen Tree	3	3
e.	Canopy Tree	2	2
f.	Understory Tree	3	2
g.	Shrubs/Native Grasses [4]	36	24
<b>Notes</b>			
[1] Required yard setbacks may be utilized for perimeter buffer landscape.			
[2] Fences/walls shall meet the standards established in Section 10-108.			
[3] Berms shall meet the standards of Section 10-108 and shall be installed, excluding the planting of required landscape material, at the time of site grading and prior to the commencement of any construction activity.			
[4] 50 percent of required shrubs/ornamental grasses shall be evergreen.			

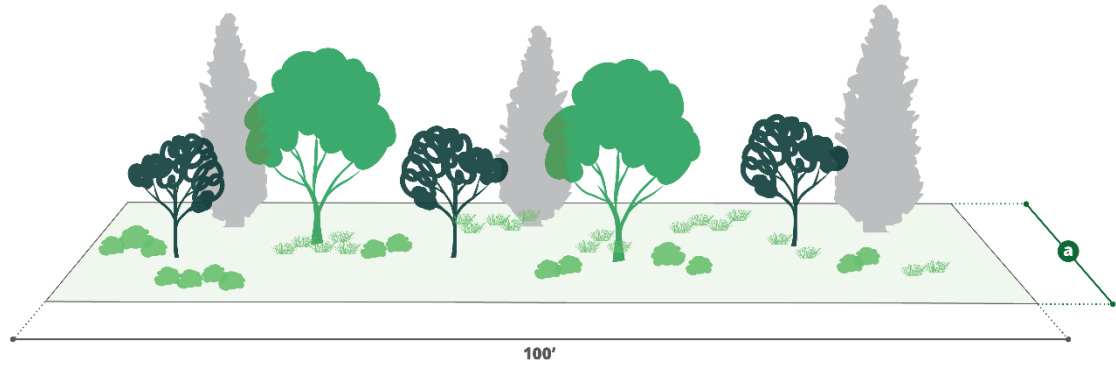


Figure 19 Type B Option 01

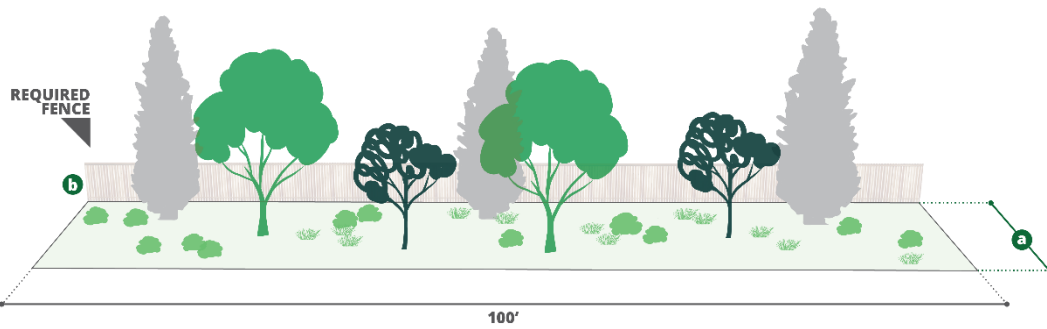


Figure 20 Type B Option 02

- Evergreen Tree
- Canopy Tree
- Understory Tree
- Shrubs/Native Grasses

- c. **Type C Standards.** If a Type C transition landscape area is required, the standards established for one of the options detailed in Table 10-106-(3)(c) shall be met.

Table 10-106-G(3)(c). Transition Landscape Area Type C Requirements			
Specification		Option 1	Option 2
a.	Minimum Width [1]	20 feet	15 feet
b.	Fence/Wall [2]	optional	required
c.	Berm [3]	optional	optional
<i>Minimum Number of Landscape Elements per 100 Linear Feet of Landscape Area Length</i>			
d.	Evergreen Tree	3 [4]	3 [4]
e.	Canopy Tree	2	2
f.	Understory Tree	1	0
g.	Shrubs/Native Grasses	36	20
<b>Notes</b>			
[1] Required yard setbacks may be utilized for perimeter buffer landscape.			
[2] Fences/walls shall meet the standards established in Section 10-108.			
[3] Berms shall meet the standards of Section 10-108 and shall be installed, excluding the planting of required landscape material, at the time of site grading and prior to the commencement of any construction activity.			

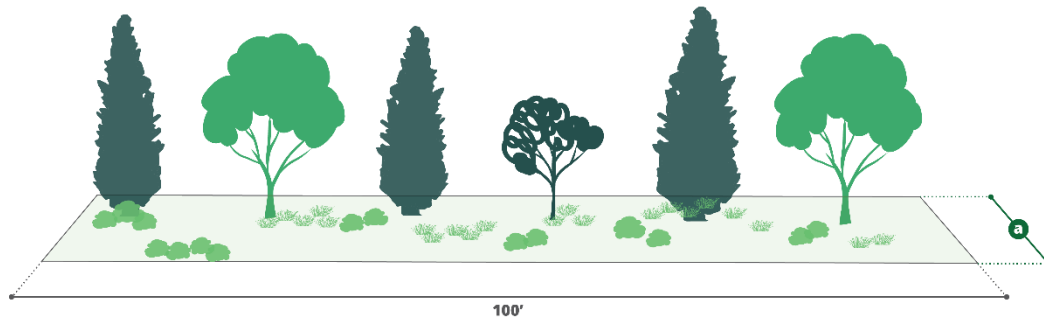


Figure 21 Type C Option 01

- Evergreen Tree
- Canopy Tree
- Understory Tree
- Shrubs/Native Grasses

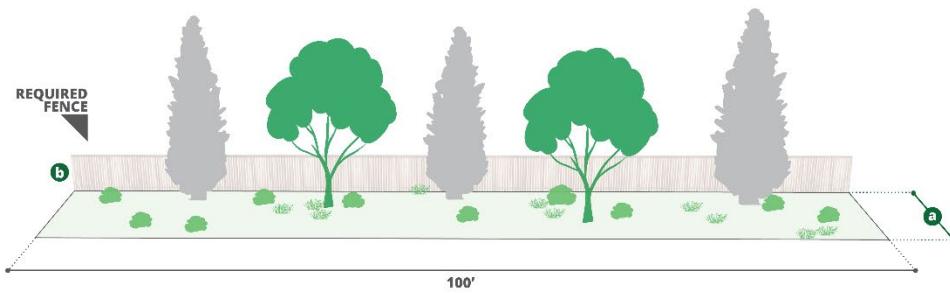


Figure 22 Type C Option 02

#### H. Landscape Area Installation and Maintenance.

1. **Appearance Standards.** Except for accessory uses expressly permitted to be located in required yards, all yards and open space between and about structures and off-street parking and loading areas and lots shall be landscaped with living vegetation and kept free of accumulations of garbage, trash, refuse, debris and other unsightly or nuisance-creating materials.
2. **Maintenance Required.** All landscaping shall be continually maintained by the owner or other person responsible for maintenance of the premises, and all planting areas shall be kept free of weeds. Undeveloped areas shall be mowed and kept free of accumulations of garbage, trash, refuse, debris and other unsightly or nuisance-creating materials until developed.
3. **Adherence to Approved Plans.** Developed areas shall be maintained in compliance with all site plans and landscaping plans approved pursuant to the Code, and all buffers and landscaping shall be maintained and replaced in accordance with such plans.

#### I. Allowed Adjustments to Landscape Standards. The Village Manager may approve an Administrative Adjustment to the landscape requirements of this section if one of the following circumstances is met:

1. **Generally.** The adjustment is required to accommodate tree preservation.
2. **Building Foundation Landscape Area.**
  - a. The building foundation landscape area standards can be waived if the use is prohibited from having landscape at the base of the building by the U.S. Food and Drug Administration or other regulatory body.
  - b. The Village Manager may approve an Administrative Adjustment to the minimum width of a building foundation landscape area if site conditions, out of the control of the developer, would prevent the minimum width from being achieved.

### 3. Parking Area Perimeter Landscape Area.

- a. The Village Manager may approve an Administrative Adjustment to the minimum width of a parking area perimeter landscape area if site conditions, out of the control of the developer, would prevent the minimum width from being achieved.
- b. The Village Manager may waive the minimum required landscape elements if a masonry wall with a minimum height of three feet and a maximum height of four feet is provided.

### 4. Parking Area Interior Landscape Area.

The Village Manager may approve an Administrative Adjustment to the minimum number of parking area islands if site conditions, out of the control of the developer, would prevent the minimum number of parking spaces and minimum number of landscape islands to be accommodated.

### 5. Transition Landscape Area.

The transition landscape area standards can be waived if the subject lot and adjacent lot are a part of a common development site.

## 10-107. Screening

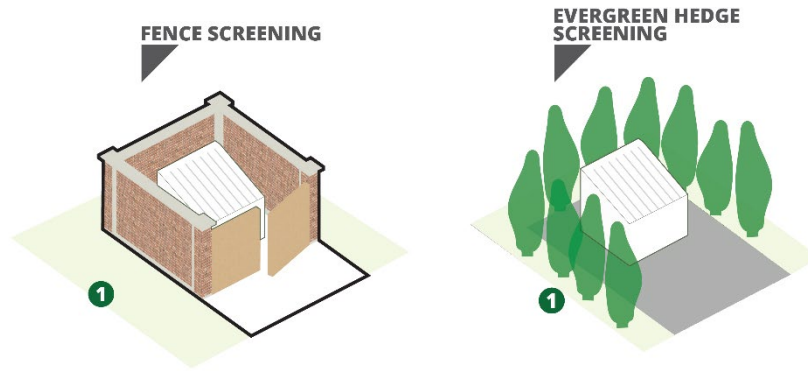
### A. General Provisions.

1. **Purpose.** The purpose of the Screening requirements is to preserve and enhance Northbrook's character and to minimize negative off-site impacts including but not limited to noise, glare, and views to service and loading areas.
2. **Applicability.** The Screening standards established in this section shall apply as detailed in Table 10-107-A.

Table 10-107-A: Screening Standards Applicability Overview						
<p>Key:</p> <ul style="list-style-type: none"><li>● = Standards apply to entire development site</li><li>○ = Standards apply to portion of site or building(s) impacted by development activity</li></ul> <p>Blank = Standards do not apply</p>		<i>New development</i>	<i>Major redevelopment</i>	<i>Intermediate redevelopment</i>	<i>Minor redevelopment</i>	<i>Change of use</i>
Standard	Reference					
Waste Receptacle Screening	10-107-B	●	●	●	●	●
Ground / Wall Mounted Equipment Screening	10-107-C	●	●	○	○	
Roof Mounted Equipment Screening	10-107-D	●	●	○	○	
Off-Street Loading Space and Truck Parking Area Screening	10-107-E	●	○	○	○	○

**B. Waste Receptacle Screening.**

1. **Screening.** All waste receptacles in multifamily, mixed use, and nonresidential districts shall be enclosed by a screening fence (but not including chain link fences), wall or densely planted evergreen hedge of a height sufficient to screen such containers or storage areas from view from adjoining properties and public or private streets.



*Figure 23 Waste Receptacle Screening*

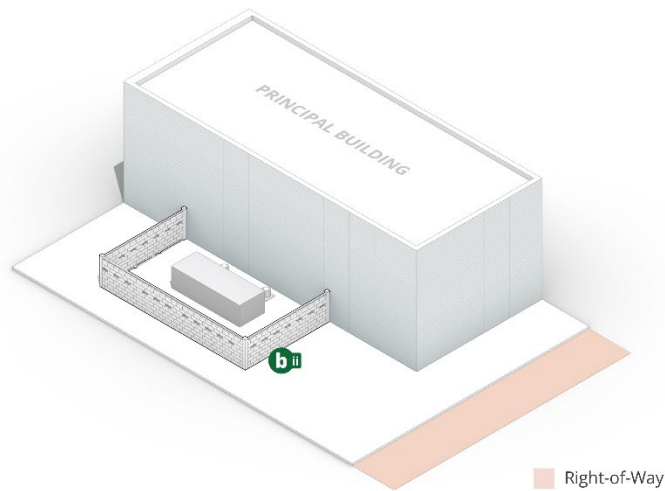
2. **Location.** No refuse containers or storage areas shall be located between any principal structure and either its front or corner side lot line.
3. **Exemptions.** The requirements of Section 10-107 hereof shall not apply to standard receptacles permitted for use by single family dwellings or to receptacles accessory to schools. None of the requirements of this Subsection shall apply to receptacles placed and maintained for use by the general public to avoid littering or to receptacles temporarily placed on construction sites for the purpose of collecting construction debris.

**C. Ground / Wall Mounted Equipment Screening.**

1. **Screening.**
  - a. Screening shall be provided for all ground or wall-mounted building equipment in multifamily, mixed use, and nonresidential districts, that are visible from any public right-of-way or adjacent property including, but not limited to, the following:
    - i. generators,
    - ii. air-conditioning condensers,
    - iii. heat pumps,
    - iv. ventilation units,
    - v. transformers, and



- vi. backflow preventers.



*Figure 24 Ground-Wall Mounted Equipment Screening*

**b. Screening Materials.**

- i. Materials used for screening shall be a minimum of 80 percent opaque.
- ii. Evergreen hedges or non-transparent walls such as stone masonry shall be allowed.
- iii. Evergreen shrubs installed to meet the opacity requirements outlined above and with a minimum height to screen the equipment may be utilized.
- iv. Chain-link fence or slats in chain-link fence shall not be used to meet this requirement.

**2. Location.**

- a. Ground or wall mounted equipment is prohibited within the front or corner side yard, regardless of whether screening is provided.
- b. Screening shall meet all setback standards of the district.

**3. Exemptions.**

- a. Equipment that is located in an interior side or rear yard and is otherwise screened by landscaping, a fence, a building, or distance so that it is not visible from the right-of-way or adjacent property shall not require additional screening.
- b. If, due to site constraints or utility provider restrictions, it is not possible to screen ground or wall mounted building equipment in accordance with the requirements

above, the Village Manager may approve an alternative screening method such as but not limited to painting equipment to match or complement the building façade.

### D. Roof Mounted Equipment Screening.

#### 1. Screening.

- a. Except for antennae mounted on roofs pursuant to the provisions of this Code, all mechanical equipment located on the roof of any building shall be fully screened from the public right-of-way and adjacent property by a parapet wall or other screening structure.
- b. **Screening Materials.** The materials used for the screening wall shall be constructed of materials compatible with the principal building façade to the height of such equipment.

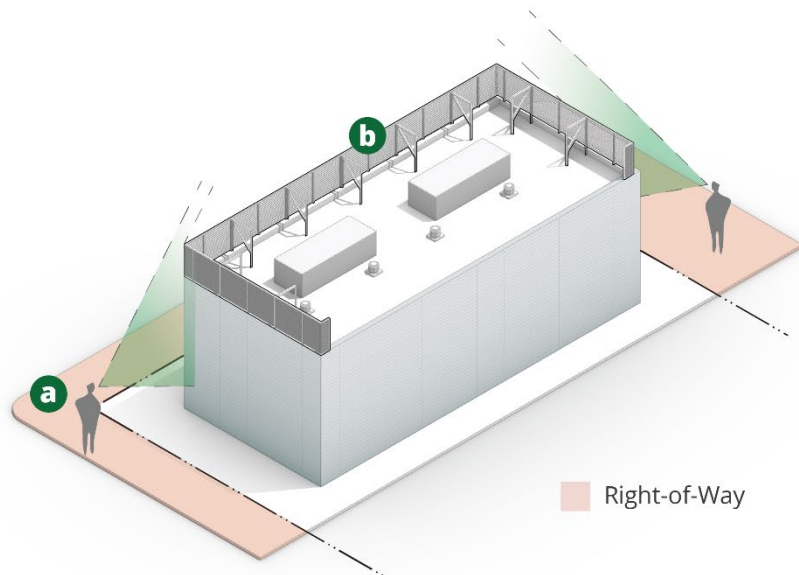


Figure 25 Roof Mounted Equipment Screening

2. **Exemptions.** The Village Manager may approve, as an Administrative Adjustment (Section 2-104) alternative screening methods or an exemption from roof mounted equipment screening requirements when the applicant provides a sight line drawing demonstrating that the roof mounted equipment would not be visible from a public right-of-way or adjacent property.

## 10 | General Development Standards

### Fence, Wall, and Berm Standards

- E. **Off-Street Loading Space and Truck Parking Area Screening.** Loading docks and truck parking areas adjacent to any residential use or located in an office or commercial district and visible from a public right-of-way shall be screened with a Type A perimeter buffer as detailed in Section 10-106-G(3) .

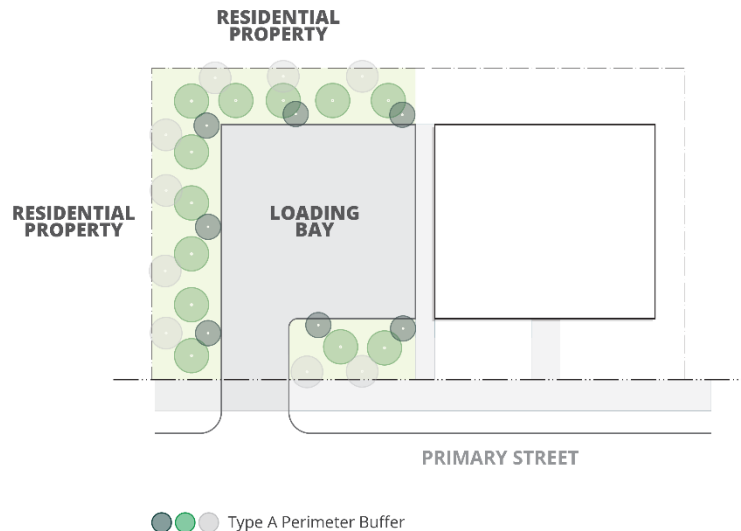


Figure 26 Off-Street Loading

## 10-108. Fence, Wall, and Berm Standards

### A. General Provisions.

1. **Purpose.** The purpose of the Fence, Wall, and Berm requirements is to regulate the location, design, and maintenance of fences, walls, and berms to allow their use for safety, security, privacy, and screening while preserving Northbrook's natural topography, maintaining visual harmony, and enhancing community appearance.
2. **Applicability.** The Fence, Wall, and Berm standards established in this section shall apply as detailed in Table 10-108-A.

**Table 10-108-A: Fence, Wall, and Berm Standards Applicability Overview**

Key:		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
● = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity  Blank = Standards do not apply						
Standard	Reference					
Allowed Fence and Wall Locations	10-108-B-1	●	●	○	○	
Fence and Wall Design	10-108-B-2	●	●	○	○	
Fence and Wall Installation and Maintenance	10-108-B-3	●	●	●	●	●
Berm Standards	10-108-C	●	●	●	○	

**B. Fence and Wall Standards.**

1. **Allowed Fence and Wall Locations.** Fences and walls may be located anywhere within or along property lines, except:
  - a. Within clear sight triangles as detailed in Section 10-110,
  - b. In a manner that inhibits the function or inspection of stormwater conveyance measures,
  - c. Within public or private stormwater easements and any public easement, including, but not limited to, drainage, utility, and tree easements unless written permission by the easement holder is received to place a fence or wall on or within the easement.
    - i. Written approval must be submitted to the Village of Northbrook with a fence permit application, unless a gate or access is provided to access the easement area.
    - ii. The Village shall not be responsible for damage to, the repair of, or the replacement of fences or walls that must be removed to access such easements if installed within an easement.

## 2. Fence and Wall Design.

- a. **Height.** The maximum height of fences or walls shall be as detailed per use and yard in Table 10-108-A-2(a). Measurement of height is outlined in Section 14-109.

**Table 10-108-A-2(a) Maximum Fence and Wall Height**

Property Line	District					
	<i>R-1, R-2 Districts</i>	<i>R-3, R-4, R-5 Districts</i>	<i>R-6, R-7, R-8, RS, MFRC, VGRC Districts</i>	<i>O-1, O-2, O-3, O-4, C-2, C-3, C-4, C-5 Districts</i>	<i>ICS, I-1, I-2 Districts</i>	<i>I-B, OS Districts</i>
Front	5 feet [2]	4 feet	4 feet	prohibited	6 feet [3]	6 feet [4]
Corner Side [1]	5 feet [2]	4 feet	4 feet	prohibited	6 feet [3]	6 feet [4]
Interior Side	6 feet [4]	6 feet [4]	6 feet	8 feet	8 feet	8 feet [3] [4]
Rear	6 feet [4]	6 feet [4]	6 feet	8 feet	8 feet	8 feet [3] [4]
<b>Notes</b>						
[1] If facing the front yard of a residential lot(s) across the street, front yard standards shall apply.						
[2] Driveway gates installed within the fence may be up to 8 feet in height.						
[3] Fence or wall shall be setback a minimum of five feet from the property line and materials shall be restricted to architectural block, masonry, stone, or stucco on masonry only.						
[4] The Village Manager may approve, as an Administrative Adjustment (Section 2-104) an increase in fence height up to 12 feet to accommodate outdoor recreation areas. Sport courts with a 12 foot fence shall be set back a minimum of 10 feet from all lot lines.						

- b. **Materials.** Allowed fence or wall materials shall be as detailed per district in Table 10-108-A-2(b).

**Table 10-108-A-2(b) Allowed Fence Materials per District**

<b>Key: ● = Allowed; ○ = Allowed by Approval of A Special Permit; Blank = Not Allowed</b>					
<i>Fence Material</i>	<i>R-1, R-2, R-3, R-4, R-5 Districts</i>	<i>R-6, R-7, R-8, RS, MFRC, VGRC Districts</i>	<i>O-1, O-2, O-3, O-4, C-2, C-3, C-4, C-5 Districts</i>	<i>ICS, I-1, I-2 Districts</i>	<i>I-B, OS Districts</i>
Architectural Block	●	●	●	●	●
Barbed Wire / Concertina Wire [1]				○	○
Cementitious Fiber Board	●	●	●	●	●
Vinyl Coated Chain Link	●[2][3]			●	● [2]
Curved/Spear Tip				●	●
Decorative Metal	●	●	●	●	●
Chicken Wire, Deer, and other Temporary Fence Materials					

**Table 10-108-A-2(b) Allowed Fence Materials per District****Key: ● = Allowed; ○ = Allowed by Approval of A Special Permit; Blank = Not Allowed**

<i>Fence Material</i>	<i>R-1, R-2, R-3, R-4, R-5 Districts</i>	<i>R-6, R-7, R-8, RS, MFRC, VGRC Districts</i>	<i>O-1, O-2, O-3, O-4, C-2, C-3, C-4, C-5 Districts</i>	<i>ICS, I-1, I-2 Districts</i>	<i>I-B, OS Districts</i>
Masonry	●	●	●	●	●
Particle Board or Plywood					
Stone	●	●	●	●	●
Stucco on Masonry	●	●	●	●	●
Vinyl/PVC	●	●	●	●	●
Waste Materials					
Wood Composite	●	●	●	●	●
<b>Notes</b>					
[1] Barbed wire shall be at least 6 feet above grade and shall not project beyond the property line.					
[2] Fences around the perimeter of an athletic court meeting all other standards of this Zoning Code may utilize black vinyl-coated chain link fence, without slats or inserts, and with a maximum height of 12 feet.					
[3] Fence material is permitted around the perimeter of an athletic court meeting all other standards of this Zoning Code, only.					

- c. **Opacity.** The maximum opacity of fences or walls shall be as detailed per district and yard in Table 10-108-A-2(c).

**Table 10-108-A-2(c): Maximum Fence and Wall Opacity**

<b>Property Line</b>	<b>District</b>					
	<i>R-1, R-2 Districts</i>	<i>R-3, R-4, R-5 Districts</i>	<i>R-6, R-7, R-8, RS, MFRC, VGRC Districts</i>	<i>O-1, O-2, O-3, O-4, C-2, C-3, C-4, C-5 Districts</i>	<i>ICS, I-1, I-2 Districts</i>	<i>I-B, OS Districts</i>
Front	50%	50%	50%	N/A	100%	100%
Corner Side [1]	100%	50%	100%	N/A	100%	100%
Interior Side	100%	100%	100%	100%	100%	100%
Rear	100%	100%	100%	100%	100%	100%
<b>Notes</b>						
[1] If facing the front yard of a residential lot(s) across the street, front yard standards shall apply.						

**3. Fence and Wall Installation and Maintenance.**

- a. The finished side of a fence shall face the exterior of the property.
- b. Fences and walls shall be maintained in good repair, clean of visible mold and mildew, and in a safe condition.
- c. Maintenance of fences and walls includes the replacement of missing, decayed, or broken elements and the repair of deteriorated or damaged materials, including sagging sections and posts that lean more than ten degrees from vertical.

**C. Berm Standards.**

1. The slope shall not exceed a 3:1 ratio (horizontal to vertical), shall have a top width at least one-half the berm height, and shall have a maximum height of eight feet above the toe of the berm.
2. All berms regardless of size, shall be stabilized in accordance with Northbrook Standards and Specifications. Topsoil brought in for mounds is to be mixed with native soil to avoid interfacing problems.
3. Berms shall be tapered appropriately to allow for maintenance.

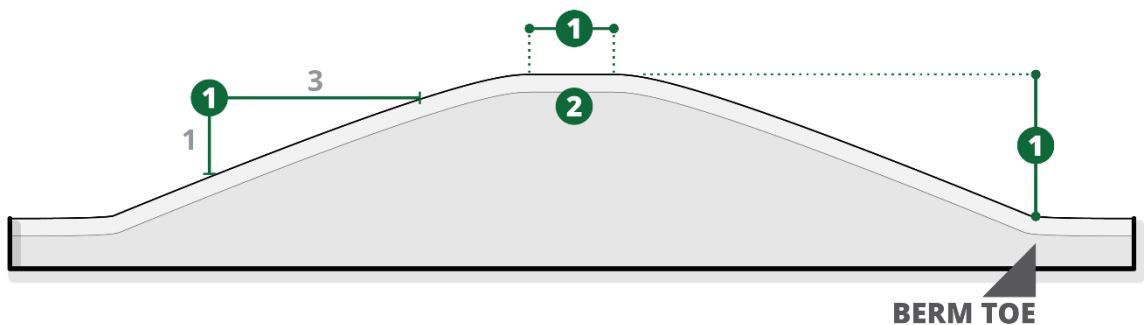


Figure 27 Berm Standards

## 10-109. Outdoor Lighting

### A. Purpose and Applicability.

1. **Purpose.** The standards of this Section are designed to regulate the physical effects of lighting and minimize the negative impact that lighting may have on surrounding properties. It is the intent of this section to:
  - a. Minimize light pollution, such as glare and light trespass.
  - b. Conserve energy and resources.
  - c. Maintain night-time safety and utility.
  - d. Improve the night-time visual environment.
2. **Applicability.** The Outdoor Lighting standards established in this section shall apply as detailed in Table 10-109-A.

Table 10-109-A: Outdoor Lighting Standards Applicability Overview						
Key: • = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity Blank = Standards do not apply		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
Standard	Reference					
Outdoor Lighting Standards	10-109-B	•	•	•	•	•

### B. Outdoor Lighting Standards.

1. Outdoor lighting fixtures shall be so designed, arranged and operated as to prevent direct rays of light from being cast onto any adjacent property or street.
2. No exterior light located on a lot in an office, commercial, industrial, or institutional district shall be so designed, arranged or operated to produce an intensity of light exceeding one-half foot candle at any residential lot line. Streetlights shall be exempt from this standard.



## 10-110. Sight Triangles

### A. General Provisions.

1. **Purpose.** The purpose of the Sight Triangle requirements is to protect public safety by limiting development activity at intersections in a manner that minimizes sight obstructions.
2. **Applicability.** The Sight Triangle standards established in this section shall apply as detailed in Table 10-110-A.

Table 10-110-A: Sight Triangle Standards Applicability Overview						
Key: • = Standards apply to entire development site ○ = Standards apply to portion of site or building(s) impacted by development activity Blank = Standards do not apply		New development	Major redevelopment	Intermediate redevelopment	Minor redevelopment	Change of use
Standard	Reference					
All Sight Triangle Standards	10-110	•	•	•	•	•

### B. Required Locations. A sight triangle shall be required at:

- a. The intersection of any driveway and a right-of-way/internal access drive (Section 10-102-C).
- b. The intersection of two or more rights-of-way/internal access drives (Section 10-102-C).

### C. Sight Triangle Design and Maintenance.

1. A sight triangle shall be measured perpendicular to and starting at the back of curb of each intersecting right-of-way or driveway.
2. The minimum length of each sight triangle leg shall be 45 feet in length.
3. No building or structure shall be located within the clear sight triangle.
4. The maximum height of any landscaping or berms within the clear sight triangle shall be two and one-half feet.
5. Existing trees within the sight triangle shall be pruned to provide a minimum clearance of six feet from grade to the bottom of the canopy.

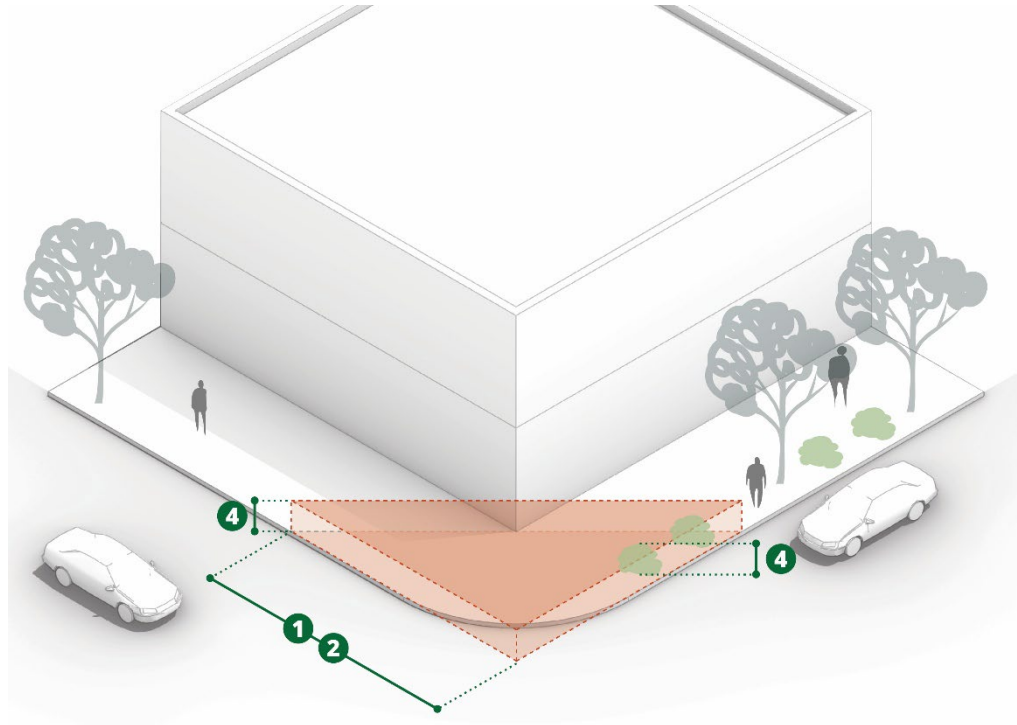


Figure 28 Sight Triangle Design